

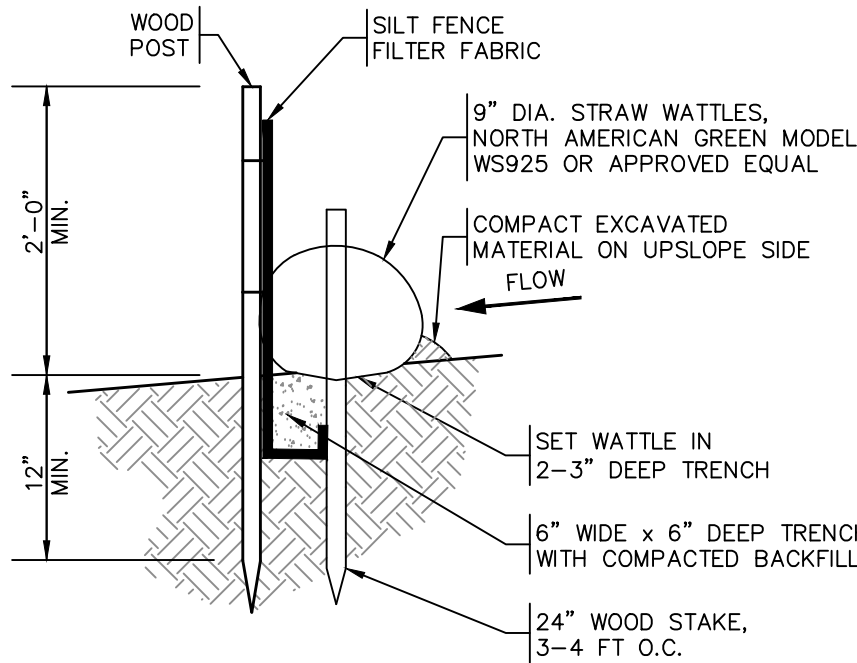
GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST, AND COMPLETE ALL WORK AS SPECIFIED IN THE CONTRACT DOCUMENTS TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- THE TERM "INSTALL" INCLUDES FURNISHING, INSTALLING, AND PLACING COMPONENTS INTO OPERATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND JOB SITE SAFETY, INCLUDING COMPLIANCE WITH ALL APPLICABLE SAFETY REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PLANS DO NOT PROVIDE DETAILED CONSTRUCTION INSTRUCTIONS.
- THE CONTRACTOR SHALL ACCEPT THE SITE "AS IS" AND VERIFY ALL SITE CONDITIONS BEFORE COMMENCING WORK. THE CONTRACTOR SHALL INSPECT THE SITE, CORRELATE EXISTING CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POTENTIAL CONFLICTS WITH THE OWNER AND ENGINEER BEFORE PROCEEDING. NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNFORESEEN CONDITIONS OR DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, UTILITIES, PAVEMENT, AND OTHER SITE FEATURES THAT ARE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, RESTORING THE AFFECTED ELEMENTS TO ORIGINAL OR BETTER CONDITION, IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
- THE LIMIT OF WORK IS SHOWN ON THE PLANS BY SAWCUT LINES. EROSION CONTROL BARRIERS, LIMIT OF CLEARING AND/OR LIMIT OF WORK LINES, THE LIMIT OF WORK SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. ANY AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- NO DEBRIS, HAZARDOUS MATERIALS, NON-BIODEGRADABLE FILL, OR STUMPS SHALL BE BURIED ON-SITE OR LEFT WITHIN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA AND RESTORE DISTURBED AREAS AS REQUIRED.

- MAINTAIN RECORD DRAWINGS THROUGHOUT CONSTRUCTION. SUBMIT FINAL AS-BUILT DRAWINGS, INCLUDING UNDERGROUND UTILITIES, TO THE OWNER UPON PROJECT COMPLETION. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR PROCURING ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FOR CLARITY, SOME EXISTING FEATURES SUCH AS UTILITIES, PROPERTY BOUNDARIES, AND EASEMENTS MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO THE FULL SET OF REFERENCED DRAWINGS AND DOCUMENTS FOR ADDITIONAL INFORMATION.
- LOCATIONS OF UNDERGROUND UTILITIES, OBSTRUCTIONS, AND SYSTEMS SHOWN ARE APPROXIMATE AND MAY NOT REPRESENT ALL FIELD CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND IDENTIFYING ALL UNDERGROUND UTILITIES, WHETHER DEPICTED OR NOT. CONTACT "DIG SAFE" AT 1-888-DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL REQUIRED PERMITS (INCLUDING TRENCH PERMITS IN ACCORDANCE WITH 520 CMR 14.00), PAY ALL ASSOCIATED FEES, AND POST BONDS AS REQUIRED.
- THE CONTRACTOR SHALL BE AWARE OF AND COMPLY WITH ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS WITHIN 10 FEET OF THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM TO THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS (248 CMR 2.00).
- WETLANDS SHALL REMAIN UNDISTURBED, NO ENCROACHMENT PERMITTED.

EROSION AND SEDIMENTATION NOTES

- PREVENT SOIL AND MATERIALS FROM ENTERING WETLANDS, STREAMS, AND OTHER PROTECTED RESOURCE AREAS.
- INSTALL AND MAINTAIN SEDIMENT CONTROL BARRIERS AT THE EDGE OF PROPOSED WORK, AS SHOWN ON THE DRAWINGS. PRIOR TO ANY EARTH-DISTURBING ACTIVITIES, MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO ENSURE CONTINUED FUNCTIONALITY.
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE MINIMUM REQUIREMENTS. IMPLEMENT ADDITIONAL MEASURES AS NEEDED OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTAIN SPARE MATERIALS ON-SITE FOR IMMEDIATE DEPLOYMENT, REPAIR, OR EXPANSION OF CONTROLS.
- MAINTAIN CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT TRACKING ONTO PUBLIC WAYS. SWEEP ANY TRACKED SEDIMENT FROM PUBLIC WAYS DAILY.
- LOCATE ALL STOCKPILES WITHIN THE LIMIT OF WORK. STABILIZE OR PROTECT STOCKPILES WITH SEDIMENT BARRIERS AND COVER IF LEFT INACTIVE FOR MORE THAN 14 DAYS.
- DISPOSE OF DEBRIS GENERATED DURING SITE PREPARATION OFF-SITE IN ACCORDANCE WITH LEGAL REQUIREMENTS.
- PROTECT ALL SITE ELEMENTS DESIGNATED TO REMAIN FOR THE DURATION OF CONSTRUCTION.
- NO EQUIPMENT, FUELS, LUBRICANTS, OR OTHER MATERIALS SHALL BE STORED WITHIN 100 FEET OF BORDERING VEGETATED WETLANDS (BWW), BANKS, OR SURFACE WATERS UNLESS OTHERWISE APPROVED. EQUIPMENT SHALL BE INSPECTED DAILY FOR LEAKS. ANY LEAKS MUST BE REPAIRED IMMEDIATELY.
- EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE STABILIZED.
- LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED ON THE DRAWINGS. FURNISH ADDITIONAL TOPSOIL AS NEEDED. TOPSOIL SHALL BE FERTILE, FRIABLE, AND FREE OF WEED SEEDS, SUBSOIL, STONES, LUMPS, ROOTS, STICKS, AND OTHER FOREIGN MATTER. DO NOT APPLY TOPSOIL WHEN IT IS MUDDY OR EXCESSIVELY WET. SPREAD TOPSOIL TO A MINIMUM DEPTH OF SIX (6) INCHES ON STRIPPED VEGETATED AREAS. REMOVE ROCKS AND DEBRIS FROM THE SOIL SURFACE AND GRADE TO AN EVEN SURFACE.



- NOTES:
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - TRAPPED SEDIMENT SHALL BE REMOVED TO A NON-SENSITIVE UPLAND AREA.

STRAW WATTLE / SILT FENCE BARRIER  
TYPICAL CROSS SECTION  
NOT TO SCALE

LEGEND

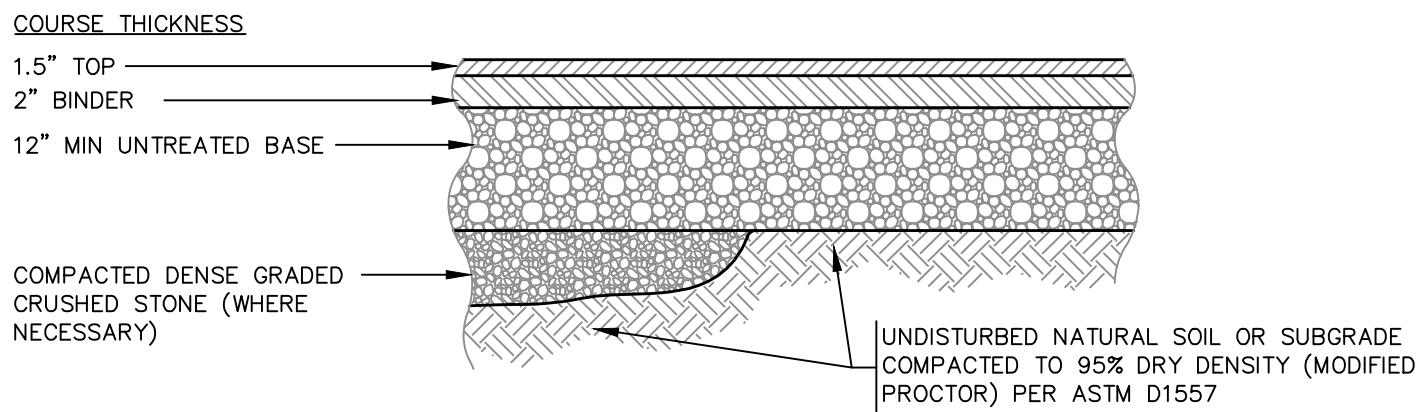
| EXISTING                       | PROPOSED                                |
|--------------------------------|---|
| 100                            | 100                                     |
| ELEVATION CONTOUR              | APPROXIMATE PROPERTY LINE               |
| WETLAND DELINEATION            | WETLAND BUFFER ZONE                     |
| TREE LINE / EDGE OF VEGETATION | EDGE OF PAVEMENT                        |
| CAPE COD BERM CURBING          | GRANITE CURBING                         |
| GRAVEL/DIRT ROAD               | GRAVITY SEWER LINE                      |
| SEWER MANHOLE                  | BURIED POWER LINE                       |
| OVERHEAD POWER LINE            | GAS VALVE                               |
| UTILITY POLE                   | GUY WIRE                                |
| CATCH BASIN                    |   |
| DRAIN MANHOLE                  | SILT FENCE BARRIER                      |
| STRAW WATTLES                  |   |
| APPROXIMATE EDGE OF WETLANDS   | APPROXIMATE LIMIT OF 100-YR FLOOD PLAIN |
| 100-FT & 200-FT RIVERFRONT     | 50-FT NO. DISTURB. LIMIT                |
| 100-FT BUFFER ZONE             | APPROXIMATE EDGE OF BROOK               |

ABBREVIATIONS

|      |            |      |                           |
|------|------------|------|---------------------------|
| EL   | ELEVATION  | HDPE | HIGH DENSITY POLYETHYLENE |
| INV  | INVERT     | PVC  | POLYVINYL CHLORIDE        |
| AC   | ACRES      | RCP  | REINFORCED CONCRETE PIPE  |
| BIT  | BITUMINOUS | N/F  | NOW OR FORMERLY           |
| CONC | CONCRETE   | WF   | WETLAND FLAG              |
| L    | LENGTH     |      |                           |

PLAN REFERENCES

- EXISTING BASE INFORMATION, INCLUDING APPROXIMATE PROPERTY LINES, STRUCTURES, UTILITIES, AND TOPOGRAPHY, IS BASED ON SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. DATED 12/26/24, 12/18/24, AND 4/23/25.
- ELEVATIONS SHOWN ARE BASED ON THE DATUM REFERENCED ON NAVD 88.
- WETLANDS SHOWN ARE BASED ON PLAN REFERENCE "WPA FORM 5 - ORDER OF CONDITIONS - 242 KING STREET, LITTLETON, MA" PREPARED FOR COREY GODFREY, THE LITTLETON WATER DEPARTMENT ISSUED ON 7-19-2022. MASSDEP FILE #204-0959.
- "WPA FORM 7 - EXTENSION PERMIT FOR ORDERS OF CONDITIONS - 242 KING STREET, LITTLETON, MA" PREPARED FOR COREY GODFREY, LITTLETON WATER DEPARTMENT, EXTENDED ORDER OF CONDITIONS ISSUED ON 9/27/2025. MASSDEP FILE #204-0959.
- "SEWAGE DISPOSAL SYSTEM - 242 KING STREET" PREPARED FOR MARK J. MONTANARI BY DAVID E. ROSS ASSOCIATES, INC. DATED JULY 2001. LAST REVISED ON 10/24/01. JOB NO. 15491.
- THE PROJECT IS LOCATED WITHIN THE RESIDENCE "R" ZONING DISTRICT.
- THE SITE LIES WITHIN ZONE AE AND ZONE X, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP #25017C02360, EFFECTIVE JULY 8, 2025.

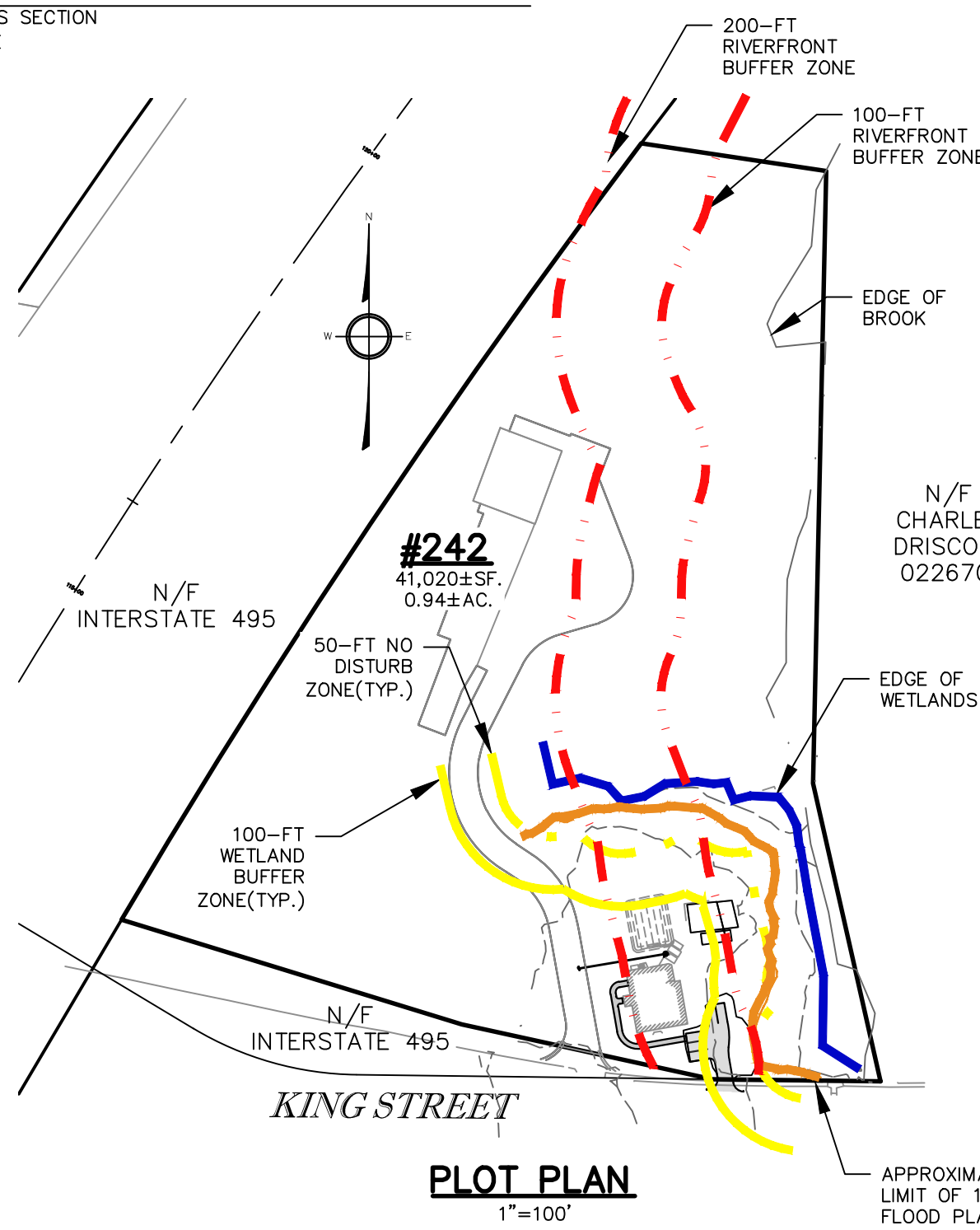


| COURSE   | MATERIAL            | SPECIFICATION PER MASS HIGHWAY DEPARTMENT (MHD) | MAX AGG. SIZE (INCH) | COMPACTION REQUIREMENTS | TEST DESIGNATION      |
|----------|---------------------|---|----------------------|-------------------------|-----------------------|
| TOP      | BITUMINOUS CONCRETE | M3.11.03 CLASS I, TYPE I-1                      | 1/2                  | NOTE 1                  | AASHTO-T166           |
| BINDER   | BITUMINOUS CONCRETE | M3.11.03 CLASS I, TYPE I-1                      | 3/4                  | NOTE 1                  | AASHTO-T166           |
| BASE     | GRAVEL BORROW       | M1.03.0 TYPE C                                  | 2                    | 95% (NOTE 3)            | ASTM D1557/AASHTO-T99 |
| SUBGRADE | ORDINARY BORROW     | M1.01.0 [SEE NOTE 2]                            | 8                    | 95% (NOTE 3)            | ASTM D1557/AASHTO-T99 |

- NOTES:
- COMPACT TO TEST AVERAGE OF 95%. TEST SHALL NOT BE LOWER THAN 93%.
  - UNSATURABLE MATERIAL IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
  - MATERIAL SHALL BE SPREAD AND COMPACTED IN LAYERS NOT EXCEEDING 8-INCHES IN DEPTH. COMPACTED MEASUREMENT; LAST LAYER OF MATERIAL SHALL NOT EXCEED 4-INCHES IN DEPTH, COMPACTED MEASUREMENT.

BITUMINOUS CONCRETE PAVEMENT

TYPICAL CROSS SECTION  
NOT TO SCALE



PREPARED BY:

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**LIMITED PROFESSIONAL RESPONSIBILITY**  
THE UNDERSIGNED PROFESSIONAL ENGINEER TAKES RESPONSIBILITY ONLY FOR THE CIVIL ENGINEERING DESIGN SHOWN HEREON (SITE LAYOUT, GRADING, DRAINAGE, AND UTILITIES). THE PROPERTY BOUNDARY INFORMATION IS FOR REFERENCE ONLY, DERIVED FROM SOURCE(S) NOTED HEREIN AND IS NOT THE RESULT OF AN INDEPENDENT BOUNDARY SURVEY. NO REPRESENTATION OR WARRANTY IS MADE REGARDING PROPERTY LINES, EASEMENTS, OR OWNERSHIP LIMITS. THIS PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION BY GOLDSMITH, PREST & RINGWALL, INC.

|    |            |             |
|----|------------|-------------|
| 1. | 10/08/2025 | FIRST ISSUE |
|----|------------|-------------|

| No.          | DATE | DESCRIPTION     |
|--------------|------|-----------------|
| DESIGNED BY: | KI   | CHECKED BY: EAC |

|        |    |   |    |    |    |
|--------|----|---|----|----|----|
| SCALE: | 20 | 0 | 10 | 20 | 40 |
|--------|----|---|----|----|----|

PROJECT:

**RESIDENTIAL  
DEVELOPMENT**

242 KING STREET  
LITTLETON, MASSACHUSETTS

**SITE PLAN**

DATE: OCTOBER 8, 2025 SHEET

JOB NO. 241114

SHEET: 1 OF 1

**C1**

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