

PRELIMINARY SUBDIVISION "THE ORCHARDS"

In
Littleton, Massachusetts

PARCEL INFORMATION:

- ASSESSORS:
U01-2-0 15 Great Road
U01-I-56 70 Grist Mill Road

Nashoba Place Realty Trust
John R. Keilty, Trustee
40 Lowell Avenue
Peabody, MA 01960

Middlesex South Registry of Deeds
MSRD BK 58154 PG 123
- ASSESSORS: Off Great Road U01-6

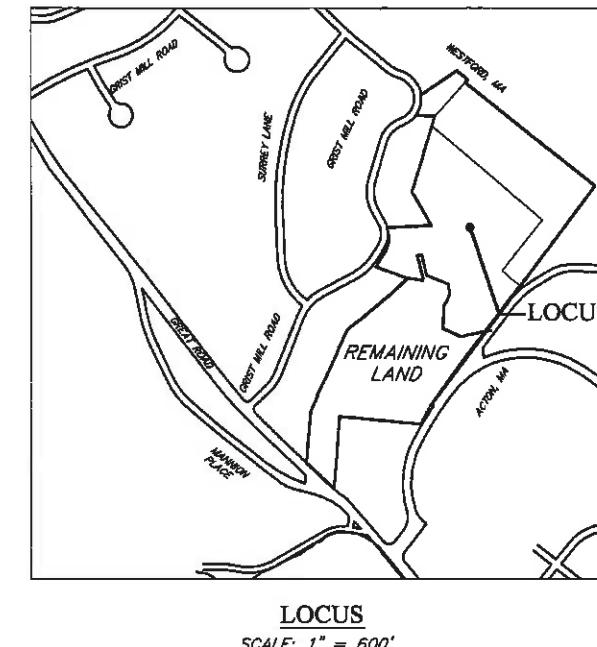
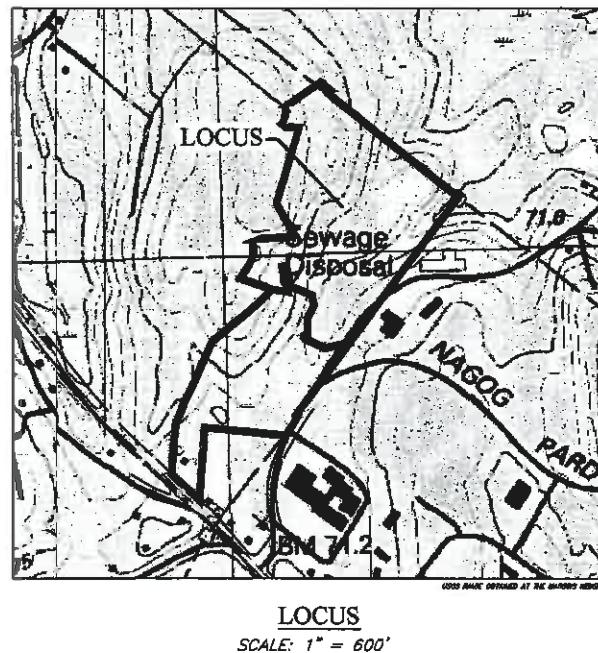
JFM Realty Trust
Leslie French, Trustee
P.O. Box 1472
Littleton, MA 01460

MSRD BK 44725 PG 484
- ASSESSORS:
82 Grist Mill Road U01-1-28
84 Grist Mill Road U01-1-27

Littleton Holding Realty Trust
John R. Keilty, Trustee
40 Lowell Road
Peabody, MA 01960

MSRD BK 54533 PG. 583

NOTE:
ALL SUPPLEMENTAL DATA SUBMITTED IN
CONJUNCTION WITH THIS PRELIMINARY SUBDIVISION
AS REQUIRED BY THE SUBDIVISION REGULATIONS
IS HEREBY INCORPORATED AS PART OF THE PLAN
SET. THIS PLAN, ITS SUPPORTING DOCUMENTATION
AND FORM WORK ARE SUBMITTED PURSUANT TO
THE PROVISIONS OF THE TOWN OF LITTLETON'S
SUBDIVISION REGULATIONS AND MASSACHUSETTS
GENERAL LAW, CHAPTER 81 AND PURPOSEFULLY
OBTAINS THE PROTECTIONS PROVIDED THEREIN.



SHEET INDEX

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PERMIT SET
NOT FOR CONSTRUCTION

APPLICANT:
Fifteen Great Road LLC
200 Baker Avenue-Suite 303
Concord, MA 01742

PLANNER, LANDSCAPE ARCHITECT,
CIVIL ENGINEER & SURVEYOR:
Places Associates, Inc.
510 King Street, Suite 9
Littleton, MA 01460

ZONING
R-RESIDENTIAL

SITE DOES NOT CONTAIN ANY FLOOD HAZARD
ZONE PER FLOOD INSURANCE RATE MAP
25017C243E PANEL 243 OF 656 EFFECTIVE
JUNE 4, 2010.

SITE IS NOT LOCATED WITHIN A LITTLETON
AQUIFER OR WATERSHED PROTECTION OVERLAY
DISTRICT.

SITE CONTAINS GREATER THAN 10 ACRES OF
LAND THEREFORE THIS FILING INCLUDES THE
OPEN SPACE DEVELOPMENT PLAN IN ADDITION
TO THE CONVENTIONAL SUBDIVISION LAYOUT.

RECEIVED

MAR 22 2012

LITTLETON
PLANNING BOARD



**THE ORCHARDS
COVER SHEET**

LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS
PREPARED FOR:

**FIFTEEN GREAT
ROAD LLC**

SCALE: AS SHOWN DATE: MARCH 20, 2012

Places Associates, Inc.
Planning, Landscape Architecture,
Civil Engineering, Surveying
510 KING STREET, SUITE 9
LITTLETON, MA 01460
978.486.0344 Fax
978.486.0447
EMAIL places@verizon.net

PROJECT No.: 11-6303 PLAN No. 6303-PS-1

GENERAL NOTES:

- PRIOR TO THE PREPARATION OF BIDS AND/OR THE INITIATION OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN AND CAREFULLY EXAMINE THIS PLAN SET, RELATED CONSTRUCTION PLAN SETS FROM OTHER PROFESSIONAL DISCIPLINES, CONSTRUCTION SPECIFICATIONS, MANUFACTURERS INFORMATION AND ANY APPLICABLE PERMIT REQUIREMENTS/CONDITIONS OF APPROVAL FOR THE PROJECT.
- THE EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. DIG SAFE AND THE APPROPRIATE UTILITY COMPANIES SHALL BE CONTACTED BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- NOT ALL UTILITIES WERE ABLE TO BE LOCATED BY RECORD INFORMATION, SITE SURVEYS OR UTILITY LOCATOR SERVICES. THE DESIGN ENGINEER AND BASE PLAN SURVEYOR DO NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OR SUBSURFACE STRUCTURES WHICH ARE OMITTED OR INACCURATELY SHOWN. PRIOR TO THE INITIATION OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION/ELEVATION OF EXISTING UTILITIES SHOWN ON THE PLAN.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCY BETWEEN THE LOCATION/ELEVATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS AND THAT WHICH IS FOUND IN THE FIELD.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL LAND SURVEYOR TO PROVIDE LAYOUT & CONTROL FOR THE DEVELOPMENT OF THE SITE.
- ALL CONSTRUCTION UNDER AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE CONSTRUCTED TO WITHSTAND A DIRECT H2O DESIGN LOAD. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITY/SITE IMPROVEMENT AREAS UNDER LANDSCAPED/NON-TRAFFIC BEARING AREAS FROM TEMPORARY CONSTRUCTION LOADS DURING CONSTRUCTION.
- THE CONSTRUCTION SHOWN ON THESE PLANS REQUIRES AN ORDER OF CONDITIONS TO BE ISSUED BY THE LITTLETON CONSERVATION COMMISSION. THE CONTRACTOR SHALL OBTAIN A COPY OF SUCH ORDERS OF CONDITIONS PRIOR TO ANY SITE-RELATED DISTURBANCES AND SHALL COMPLY WITH APPROPRIATE CONDITIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTY FROM DAMAGE. ALL DAMAGES BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS (BOUNDS, PINS, PIPES, DRILL HOLES, ETC.) THROUGHOUT ALL PHASES OF CONSTRUCTION. ANY DISTURBED MONUMENTS SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY CONTRADICTORY, INCOMPLETE OR MISLABELED INFORMATION SHOWN ON THE PLANS OR PLANS PREPARED BY OTHERS. THE CONTRACTOR SHALL ALLOW FOR ADEQUATE TIME FOR THE ENGINEER TO RESPOND/PROVIDE DIRECTION FOR THE PLAN DISCREPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SHOP DRAWINGS OF PRODUCTS/MATERIALS TO THE ENGINEER AND/OR THE LOCAL APPROVING AUTHORITY AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR IF REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION OVER THE PRODUCT. ADEQUATE TIME SHALL BE ALLOWED FOR THE SHOP DRAWINGS TO BE REVIEWED AND RETURNED TO THE CONTRACTOR PRIOR TO ORDERING THE SPECIFIED PRODUCTS/MATERIALS.
- ALL SUPPLEMENTAL DATA SUBMITTED IN CONJUNCTION WITH THIS PRELIMINARY SUBDIVISION AS REQUIRED BY THE SUBDIVISION REGULATIONS IS HEREBY INCORPORATED AS PART OF THE PLAN SET.
- ALL PERMANENT BOUNDARY AND SURVEY MONUMENTS SHALL BE INSTALLED AFTER THE COMPLETION OF ALL HEAVY SITE WORK.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED OF WITHIN THE LIMITS OF THE PROJECT. ALL WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
- UNLESS OTHERWISE SPECIFIED OR SHOWN, ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STANDARDS DESCRIBED IN THE TOWN OF LITTLETON'S SUBDIVISION CONTROL REGULATIONS. IF NOT SPECIFIED THEREIN, SUCH CONSTRUCTION SHALL THEN CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MDOT, FORMERLY MASSHIGHWAY) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST VERSION.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN, A PERMIT FROM MASS HIGHWAY TO CONSTRUCT WITHIN A PUBLIC WAY FOR WORK WITHIN GREAT ROAD, STATE ROUTE 2A. CONTROLLED DENSITY FILL SHALL BE USED AS PAVEMENT BASE COURSE WITHIN THE STATE HIGHWAY LAYOUT.
- WETLANDS DELINEATION PERFORMED BY OXBOW ASSOCIATES, INC OF ACTON, MA IN APRIL 2011. LOCATIONS OF FLAGS WERE FIELD-SURVEY LOCATED BY PLACES ASSOCIATES, INC. THE FINAL WETLANDS LIMITS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LITTLETON CONSERVATION COMMISSION.

TOWN LINES DEPICTED HEREON ARE DERIVED FROM PLAN RECORD INFORMATION AND WILL BE FIELD SURVEY DETERMINED PRIOR TO SUBMITTAL OF A DEFINITIVE PLAN.

SITE WORK NOTES:

- THE LIMITS OF WORK SHALL BE FIELD ESTABLISHED PRIOR TO INITIATION OF ANY CONSTRUCTION, SITE EXPLORATIONS OR EARTHEN DISTURBANCE.
- EROSION CONTROLS SHALL BE IMPLEMENTED PRIOR TO SITE CLEARING OR DISTURBANCE. SEE EROSION AND SEDIMENTATION CONTROL PLAN.
- EXCEPT FOR THE SETUP FOR ENTRY TO THE SITE, NO CONSTRUCTION OR CONTRACTOR'S VEHICLES SHALL BE PARKED ON GRIST MILL ROAD OR GREAT ROAD, UNLESS COORDINATED WITH ADJACENT PROPERTY OWNERS. ALL CONSTRUCTION STAGING, STOCKPILE AND PARKING AREAS SHALL BE ON SITE.
- LOAM SHALL BE STOCKPILED FOR RE-USE ON THE SITE TO THE EXTENT PRACTICAL. SEE EROSION AND SEDIMENTATION CONTROL PLAN.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED OF WITHIN THE LIMITS OF THE PROJECT. ALL WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS. THE SITE SHALL BE KEPT IN A NEAT AND ORDERLY FASHION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TRENCH OPERATIONS PERMIT PURSUANT TO THE REQUIREMENTS OF THE TOWN OF LITTLETON AND 520 CMR 14.00 (AKA "JACKIE'S LAW").

MATERIAL DEFINITIONS:

BITUMINOUS CONCRETE PAVEMENT
ALL SITE PAVING SHALL BE CLASS 1 BITUMINOUS CONCRETE. MIXTURES SHALL BE COMPOSED OF MINERAL AGGREGATE, MINERAL FILLER (IF REQUIRED) AND BITUMINOUS MATERIAL. THE MIXTURE MAY INCLUDE RECLAIMED ASPHALT PAVEMENT AT THE OPTION OF THE CONTRACTOR.

THE MIXTURE COMPOSITION AND TOLERANCES SHALL MEET THE SPECIFICATIONS FOR BINDER COURSE AND TOP COURSE MIXTURES AS SPECIFIED IN TABLE A OF THE 11.03.03 EDITION OF THE AMERICAN SOCIETY OF TESTING AND MATERIALS (ASTM) FOR PAVEMENT MATERIALS, FORM MIX, PLACEMENT AND CURING. ALL SITE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE REQUIRED IN THE CONSTRUCTION DOCUMENTS.

CAST IN PLACE CONCRETE

ALL SITE CAST IN PLACE CONCRETE AND RELATED REINFORCING SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, THE AMERICAN CONCRETE INSTITUTE (ACI) 318, THE AMERICAN SOCIETY OF TESTING AND MATERIALS (ASTM) FOR PAVEMENT MATERIALS, FORM MIX, PLACEMENT AND CURING. ALL SITE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE REQUIRED IN THE CONSTRUCTION DOCUMENTS.

CONTROLLED DENSITY FILL (CDF)

CONTROLLED DENSITY FILL SHALL BE A FLAMMABLE, SELF-CONSOLIDATING, RIGID SETTING, LOW DENSITY MATERIAL THAT CAN SUBSTITUTE FOR COMPACTED GRAVELS FOR BACKFILLS, FILLS AND STRUCTURAL FILLS. CDF SHALL BE EXCAVATABLE BY HAND TOOLS AND/OR SMALL EQUIPMENT WHEN PLACED AND CURED. CDF SHALL MEET THE REQUIREMENTS OF SSMB M1.02.08, TYPE 2E AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- CDF IS TO BE BATCHED AT A READY MIX PLANT AND IS TO BE USED AT A HIGH OF VERY HIGH SLUMP FROM 10" TO 12". IT SHALL BE PLOWABLE AND REQUIRES NO VIBRATION AFTER IT HAS BEEN PLACED.
- CDF SHALL BE A MIXTURE OF PORTLAND CEMENT, FLYASH, SAND AND WATER DESIGNED TO MEET THE CDF REQUIREMENTS. HIGH AIR ENTRAINMENT MAY BE SUBSTITUTED FOR FLYASH WITH AN ADJUSTMENT (25%) ADJUSTMENT IN SAND CONTENT.
- CDF MUST MEET THE FOLLOWING STRENGTH REQUIREMENTS:
-28 DAY COMPRESSIVE STRENGTH: 30-80 PSI
-90 DAY COMPRESSIVE STRENGTH: 100 PSI MAX

CRUSHED STONE

CRUSHED STONE SHALL BE THE SIZE AS INDICATED ON THE PLANS. THE STONE SHALL BE FROM A STONE QUARRY THAT PRODUCES HARD, ANGULAR, DURABLE WASHED STONE FREE FROM DEBRIS AND ORGANIC MATERIALS. THE STONE SHALL MEET THE REQUIREMENTS OF SSMB M1.02.08.

DENSE GRADED CRUSHED STONE

DENSE GRADED CRUSHED STONE SHALL CONSIST OF THE COMBINATION OF CRUSHER-RUN COARSE AGGREGATES (MEETING SSMB M1.02.08) AND FINE AGGREGATES OF NATURAL SAND OR STONE SCREENING UNIFORMLY PREMIXED WITH A PREDETERMINED QUANTITY OF WATER. COARSE AGGREGATE SHALL CONSIST OF HARD, DURABLE PARTICLES OF FRAGMENTS OF STONE. MATERIALS WHICH ARE SOFT, CRUMBLY, OR UNDURABLE, SUCH AS CRUMBED OR WETTED AND DRIED SHALL NOT BE USED. FINE AGGREGATE SHALL CONSIST OF NATURAL OR CRUSHED SAND. THE GRADATION/MATERIAL SHALL COMPLY WITH THE SPECIFICATIONS OF SSMB M1.02.07.

GLACIAL TILL

A. GLACIAL TILL: NATURAL INORGANIC SOLID APPROVED BY THE ENGINEER AND MEETING THE FOLLOWING REQUIREMENTS:

- IT SHALL BE FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIALS, FROZEN MATERIALS AND STONES GREATER THAN TWO INCHES IN MAXIMUM DIMENSION.
- IT SHALL BE A SILT LOAM AS DEFINED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL TEXTURAL CLASSIFICATION.
- THE SOIL SHALL CONSIST OF GREATER THAN 50% SILT, 12% TO 27% CLAY, OR 50% TO 55% SILT AND LESS THAN 12% CLAY.

GRAVEL BORROW

GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE AND COHESIVE, FREE FROM DEBRIS, SURFACE COATINGS, ORGANIC AND DELETERIOUS MATERIALS. THE GRAVEL BORROW SHALL MEET THE REQUIREMENTS OF SSMB M1.02.08. MAXIMUM STONE SIZE SHALL BE AS FOLLOWS:

TYPE A: 6" LARGEST DIMENSION

TYPE B: 4" LARGEST DIMENSION

TYPE C: 2" LARGEST DIMENSION

LOAM (BORROW)

LOAM SHALL CONSIST OF NATURAL TOPSOIL, FREE FROM SUB-SOIL, OBTAINED FROM AN AREA WHICH HAS NEVER BEEN STRIPPED. LOAM SHALL BE OF UNIFORM QUALITY, FREE FROM DEBRIS, STONE, CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUE, TARRIED PAPER, BOARDS, CHIPS OR ANY OTHER UNDESIRABLE MATERIAL.

LOAM

LOAM SHALL CONTAIN BETWEEN 5.5 AND 7.5 PERCENT ORGANIC MATTER AS DETERMINED BY LOSS ON IGNITION OF A MOISTURE-FREE SAMPLE DRIED IN ACCORDANCE WITH THE CURRENT METHOD OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS.

THE ACIDITY RANGE OF THE LOAM SHALL BE PH 6.5 TO PH 7.5 INCLUSIVE.

THE MECHANICAL ANALYSIS OF THE SOIL SHALL BE AS FOLLOWS:

U.S. SIZE &

NUMBER

MINIMUM

MAXIMUM

1 INCH

NO. 100 (SAND)

NO. 100 (SILT & CLAY)

97%

40%

100%

80%

40%

60%

40%

TYPE C

100%

60%

40%

20%

10%

5%

2%

1%

0%

0%

0%

0%

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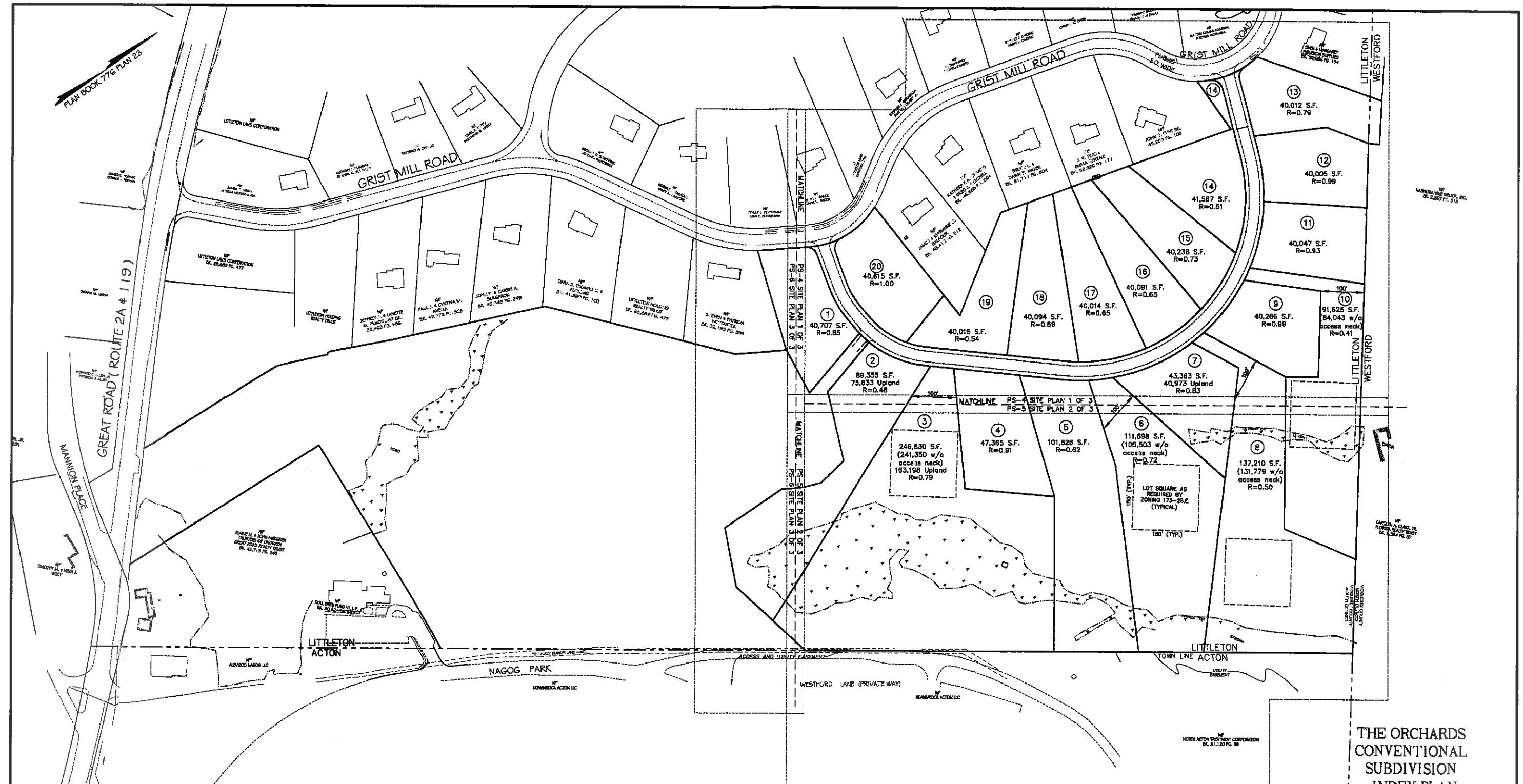
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THE ORCHARDS
CONVENTIONAL
SUBDIVISION
INDEX PLAN

LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS

FIFTEEN GREAT ROAD LLC

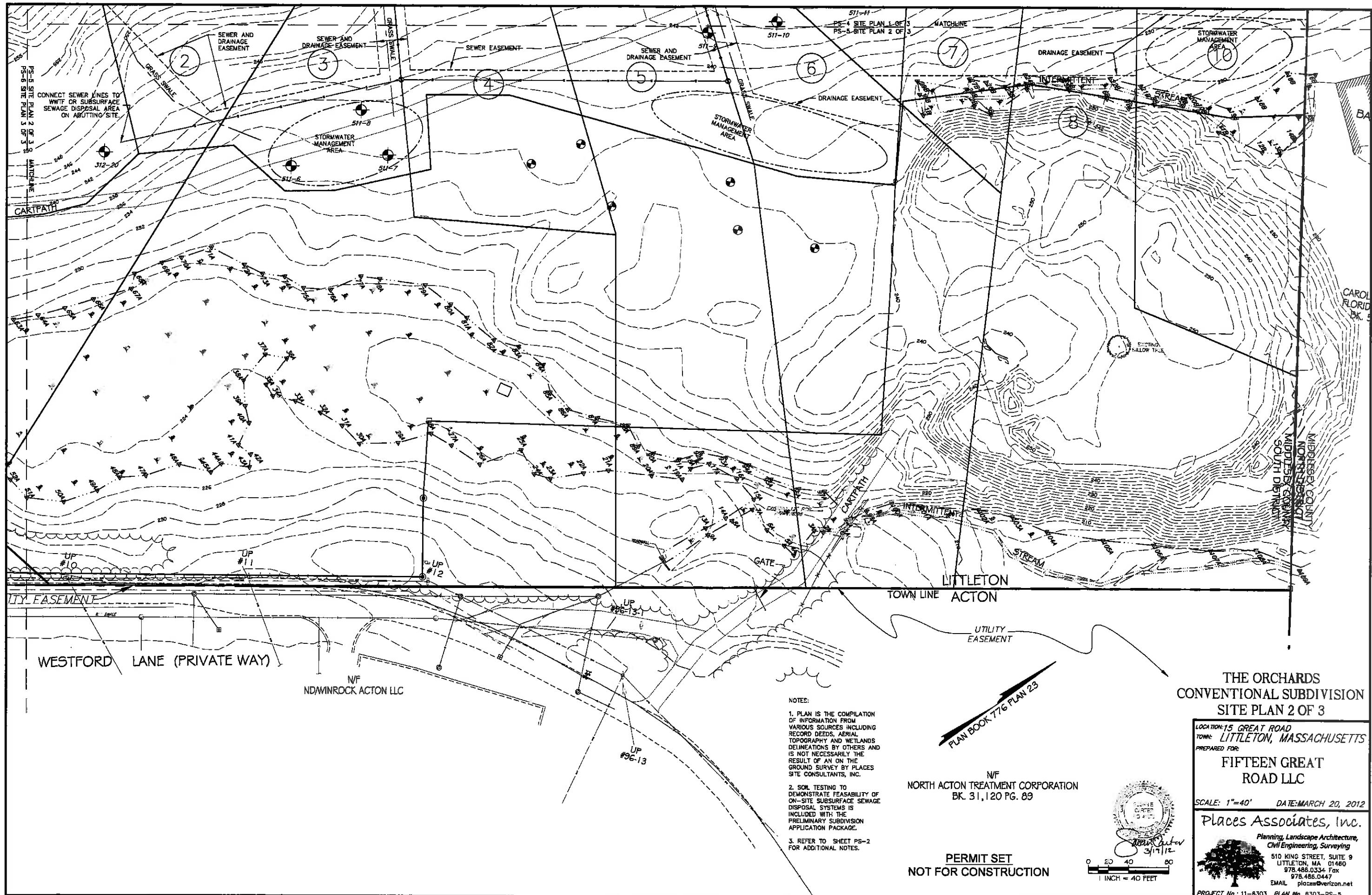
SCALE: 1" = 100'

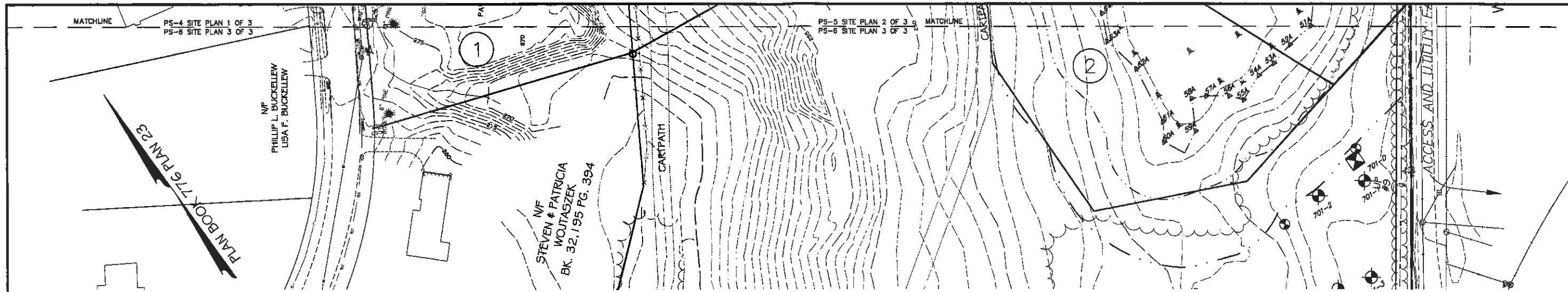
NOTES:
1. PLAN IS THE COMPILED INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY, WETLANDS, DELINEATIONS BY OXBOW ASSOCIATES AND LIMITED ON THE GROUND SURVEY BY PLACES ASSOCIATES, INC.

PERMIT SET
NOT FOR CONSTRUCTION

0 50 100 200

1 INCH = 100 FEET





NOTES-

1. PLAN IS THE COMPILED
OF INFORMATION FROM
VARIOUS SOURCES INCLUDING
RECORD DEEDS, AERIAL
TOPOGRAPHY AND WETLANDS
DELINEATIONS BY OTHERS AND
IS NOT NECESSARILY THE
RESULT OF AN ON THE
GROUND SURVEY BY PLACES
SITE CONSULTANTS, INC.

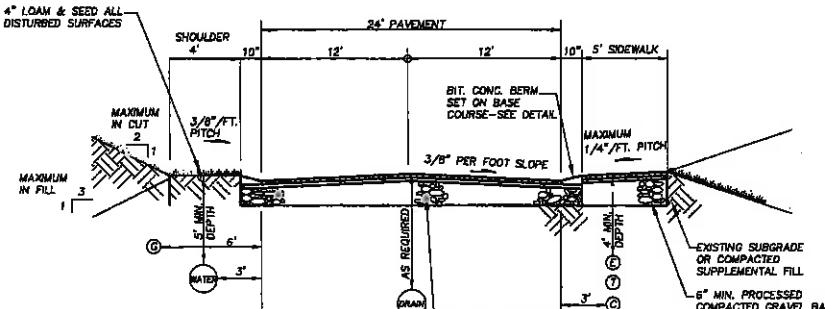
**2. SOIL TESTING TO
DEMONSTRATE FEASIBILITY OF
ON-SITE SUBSURFACE SEWAGE
DISPOSAL SYSTEMS IS
INCLUDED WITH THE
PRELIMINARY SUBDIVISION
APPLICATION PACKAGE.**

3. REFER TO SHEET PS-2
FOR ADDITIONAL NOTES.

PAVEMENT
ROADWAY - WEARING COURSE: 1 1/2" BINDER COURSE: 1 1/2"
SIDEWALK - WEARING COURSE: 1" BINDER COURSE: 1"

ALL PAVEMENT SHALL BE CLASS I TYPE I BITUMINOUS CONCRETE.

ALL PAVEMENT SHALL BE CLASS I TYPE I BITUMINOUS CONCRETE.



TYPICAL ROAD CROSS SECTION

NOT TO SCALE

PERMIT SET
NOT FOR CONSTRUCTION

1 INCH = 40 FEET

THE ORCHARDS
CONVENTIONAL SUBDIVISION
SITE PLAN 3 OF 3

LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS

PREPARED FOR:

**FIFTEEN GREAT
ROAD LLC**

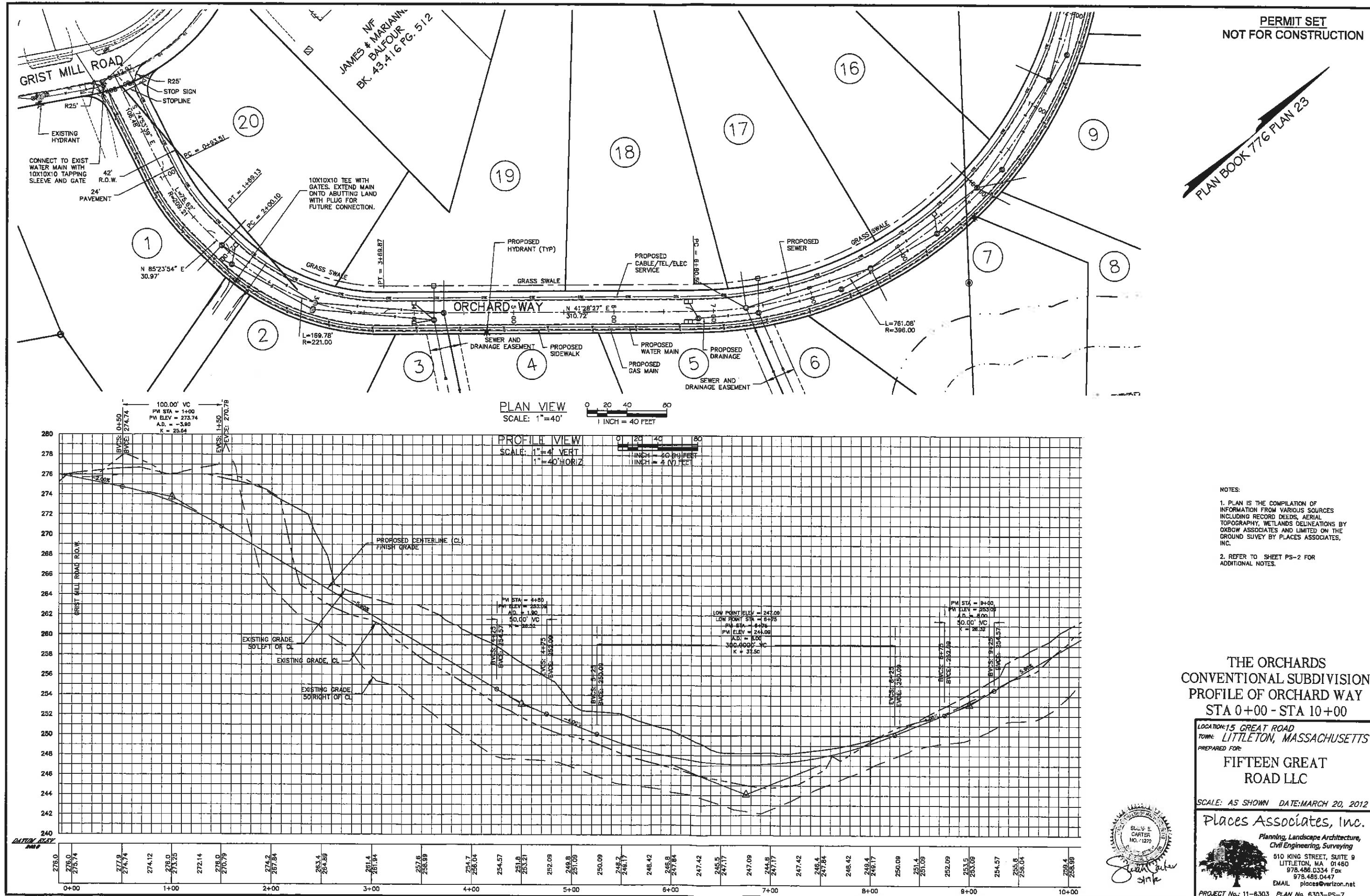
SCALE: 1" = 40' DATE: MARCH 20, 2012

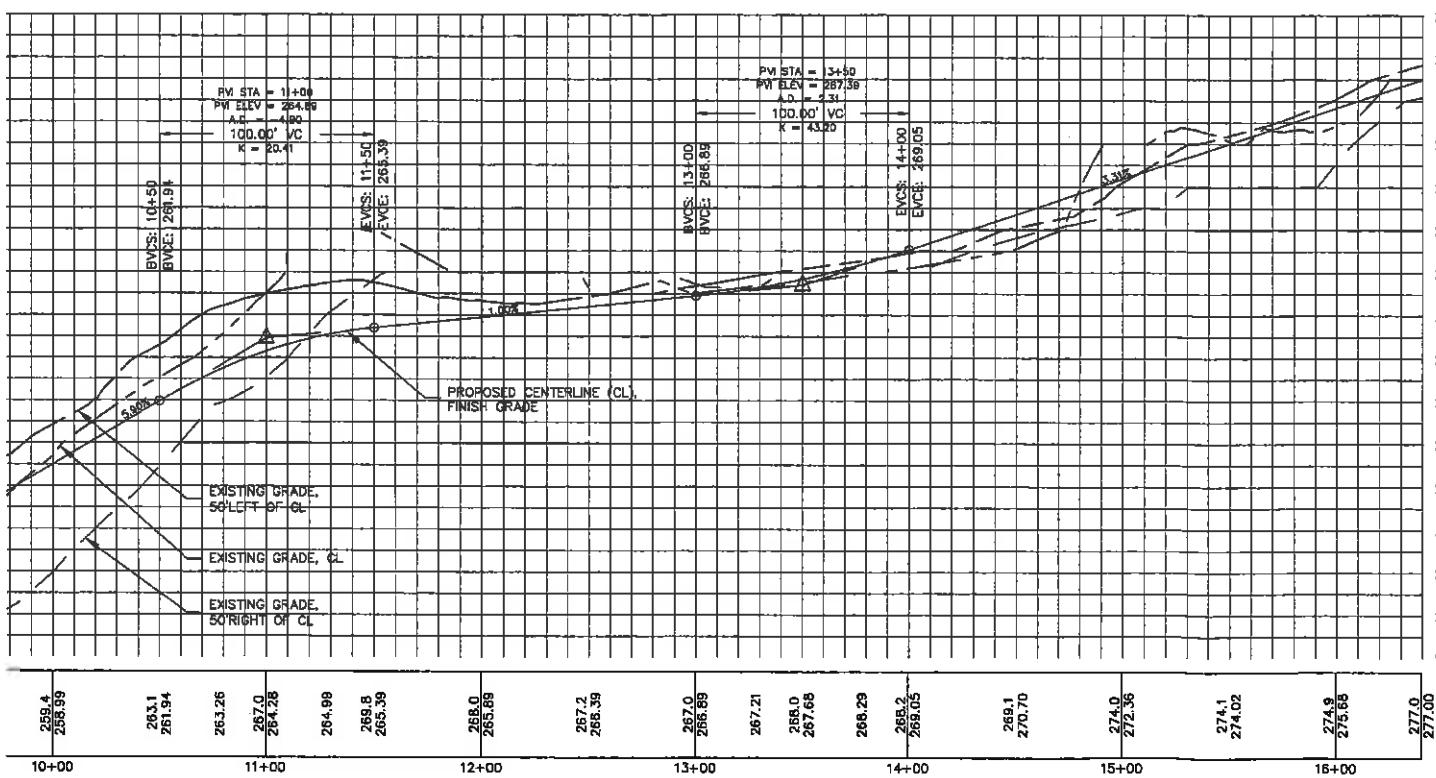
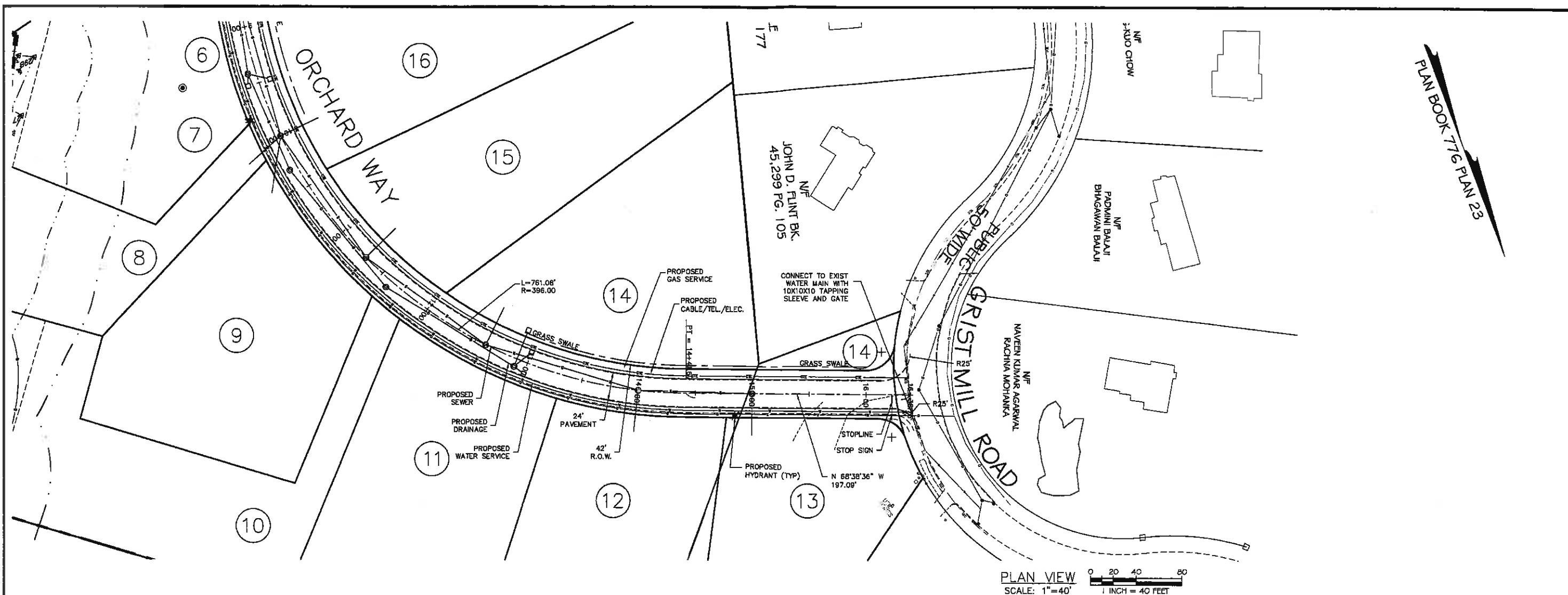
Places Associates, Inc.

Planning, Landscape Architecture,
Civil Engineering, Surveying

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PROJECT No.: 11-5303 PLAN No. 6303-PS-5





PROFILE VIEW
 SCALE: 1"=4' VERT
 1"=40' HORIZ

 1 INCH = 40 (H) FEET
 1 INCH = 4 (V) FEET

NOTES:
PLAN IS THE COMPILATION OF INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY, WETLANDS DELINEATIONS BY XBOX ASSOCIATES AND LIMITED ON THE GROUND SURVEY BY PLACES ASSOCIATES, INC.

THE ORCHARDS
CONVENTIONAL SUBDIVISION
PROFILE OF ORCHARD WAY
STA 10+00 - END

LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS
PREPARED FOR:

FIFTEEN GREAT ROADS IN U.S.

SCALE: AS SHOWN DATE: MARCH 20, 2012

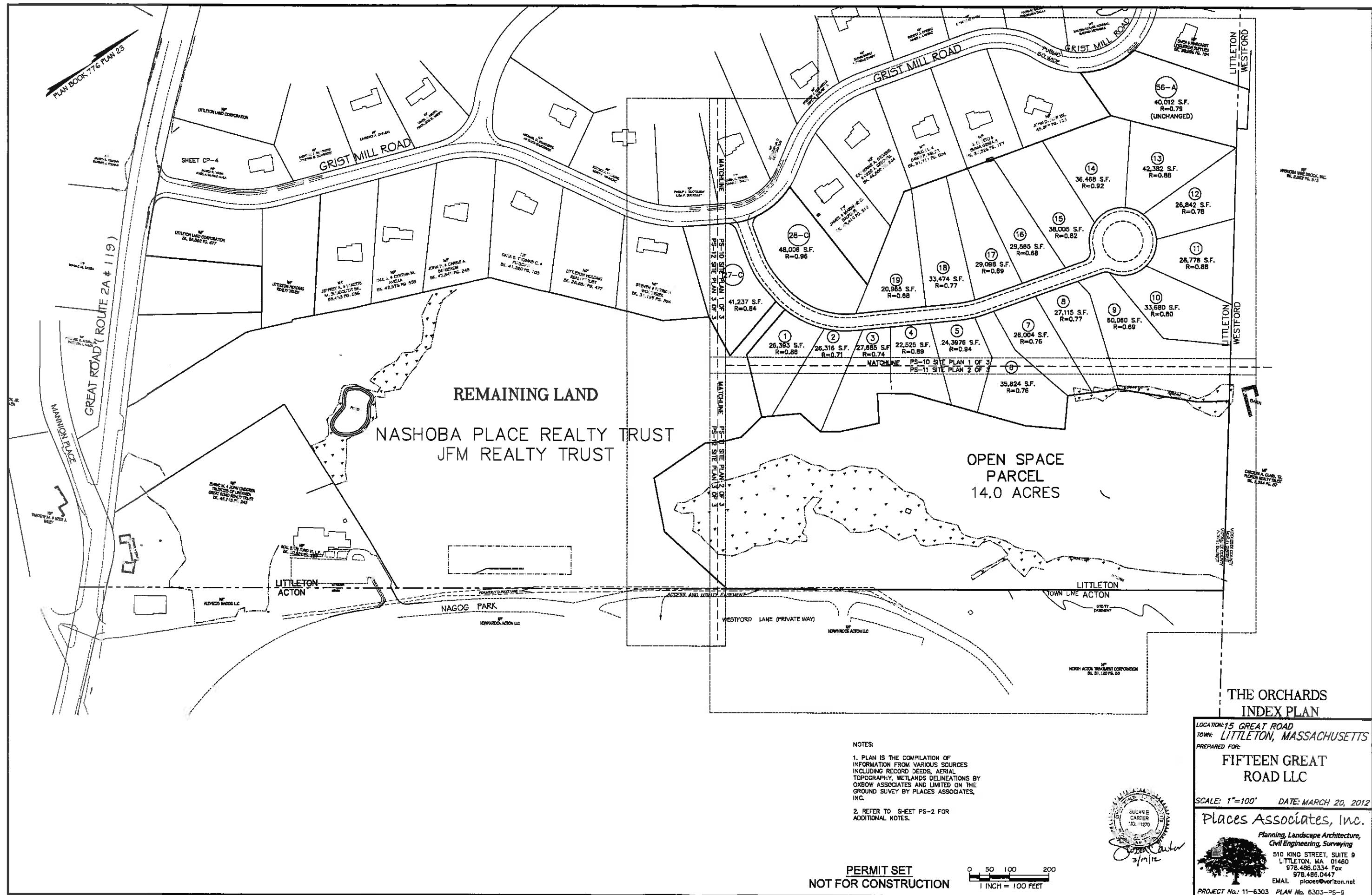
Places Associates, Inc.

Planning, Landscape Architecture,

Civil Engineering, Surveying
510 KING STREET, SUITE 9

**STORER'S PLACE**, SUITE 3
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978.456.0447
EMAIL places@verizon.net

PROJECT No.: 11-6303 PLAN No. 6303-PS-8



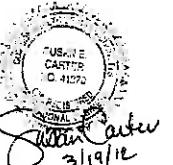
LOCATION 15 GREAT ROAD

TOWN: LITTLETON, MASSACHUSETTS

PREPARED FOR:

FIFTEEN GREAT
ROAD LLC

SCALE: 1"=40' DATE: MARCH 20, 2012



Places Associates, Inc.

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EMAIL: places@verizon.net
PROJECT No.: 11-6303 PLAN No. 6303-PS-10

THE ORCHARDS
OPEN SPACE DEVELOPMENT
SITE PLAN 1 OF 3

PERMIT SET
NOT FOR CONSTRUCTION

MATCHLINE
PS-10 SITE PLAN 1 OF 3
PS-12 SITE PLAN 3 OF 3

LITTLETON LAND
CORPORATION

NF

NF

DARYL K. BAKER

ELAINE M. BAKER

CONNECT TO EXIST
WATER MAIN WITH
10X10X10 TAPPING
SLEEVE AND GATE

NF

LITTLETON LAND
CORPORATION

CONNECT TO EXIST
WATER MAIN WITH
10X10X10 TAPPING
SLEEVE AND GATE

NF

LITTLETON LAND
CORPORATION

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SLEEVE AND GATE

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LITTLETON LAND
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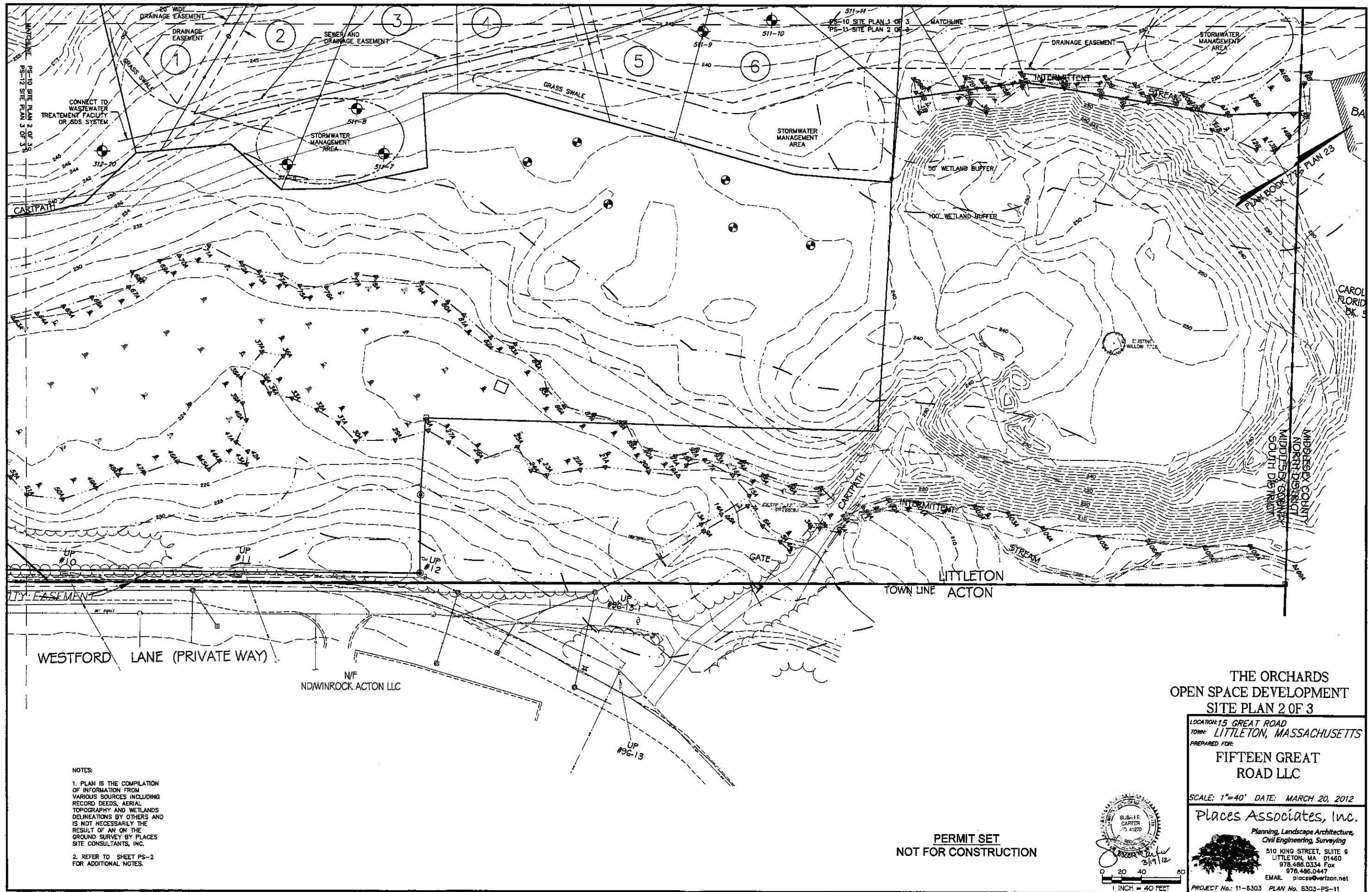
LITTLETON LAND
CORPORATION

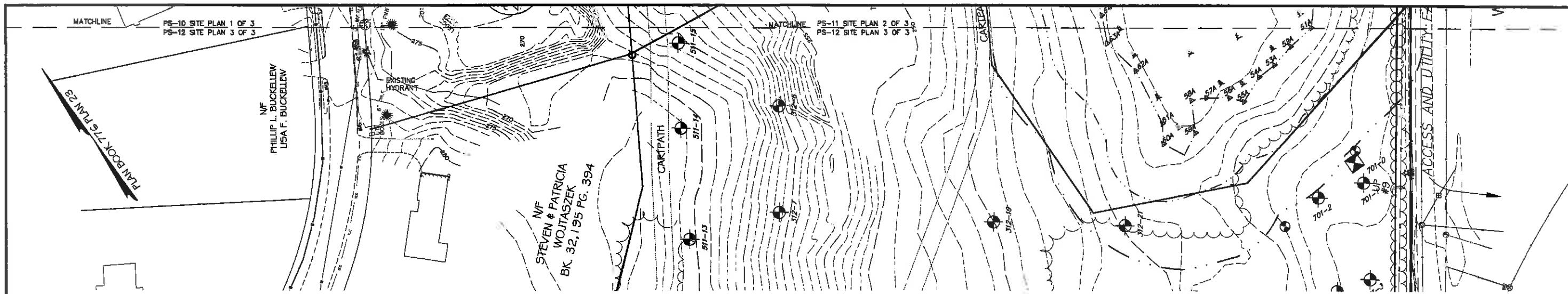
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WATER MAIN WITH
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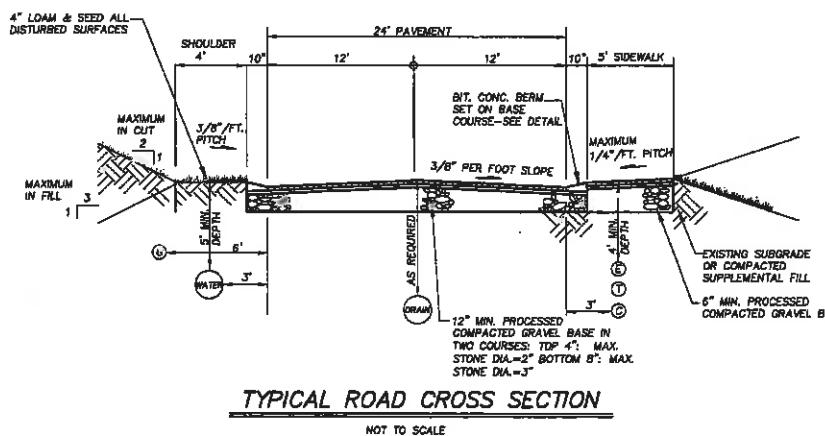


NOTES:

1. PLAN IS THE COMPILATION OF INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY AND WETLANDS DELINEATIONS BY OTHERS AND IS NOT NECESSARILY THE RESULT OF AN ON THE GROUND SURVEY BY PLACES SITE CONSULTANTS, INC.

2 REFER TO SHEET PS-2
FOR ADDITIONAL NOTES.

PAVEMENT
ROADWAY - WEARING COURSE: 1 1/2" BINDER COURSE: 1 1/2"
SIDEWALK - WEARING COURSE: 1" BINDER COURSE: 1"
ALL PAVEMENT SHALL BE CLASS I TYPE I BITUMINOUS CONCRETE.



TYPICAL ROAD CROSS SECTION

M27 TO SC411

PERMIT SET
NOT FOR CONSTRUCTION

Site Plan 3 of 3

EDGAR A. KNAPP'S GREAT ROAD
TOWN: LITTLETON MASSACHUSETTS

ENTREPRENEUR,
PREPARED FOR:

FIFTEEN GREAT ROAD LLC

SCALE: 1"=40' DATE: MARCH 20, 2012

Page 10 of 10

PLACES ASSOCIATES, INC.

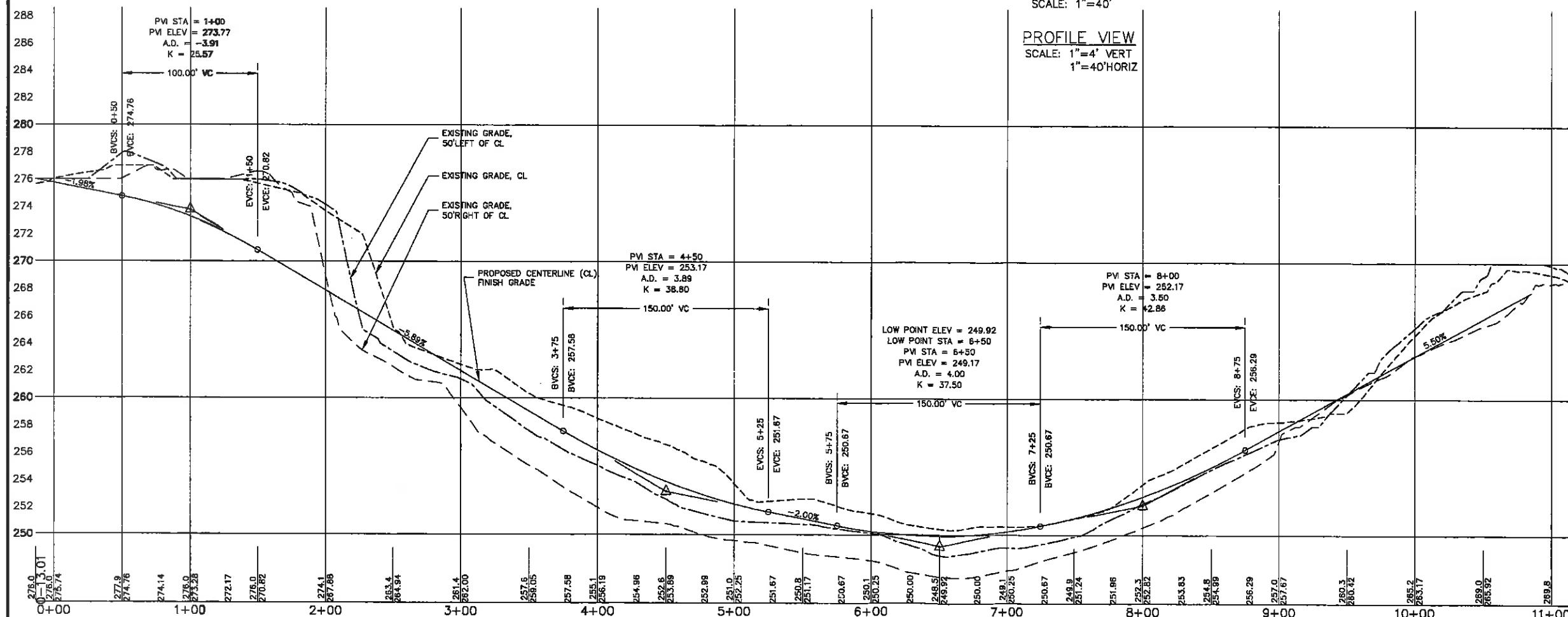
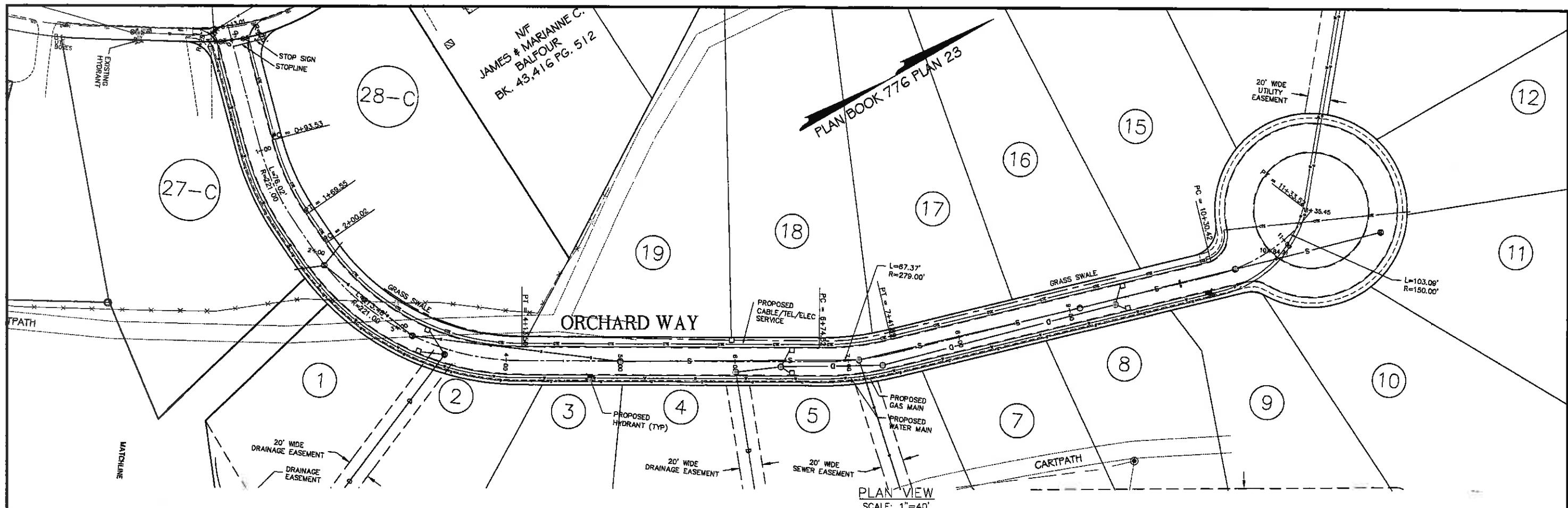
Planning, Landscape Architecture,
Civil Engineering, Surveying

510 KING STREET, SUITE 9
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LITTLETON, MA 01460
978-486-0334 Fax
978-486-0417

EMAIL places@verizon.net

PROJECT No. 11-6303 PLAN No. 6303-PS-12



NOTES:
 1. PLAN IS THE COMPILED INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY, AND WETLANDS DELINEATIONS BY OTHERS AND IS NOT NECESSARILY THE RESULT OF AN ON THE GROUND SURVEY BY PLACES SITE CONSULTANTS, INC.
 2. REFER TO SHEET PS-2 FOR ADDITIONAL NOTES.

PERMIT SET
NOT FOR CONSTRUCTION

**THE ORCHARDS
 OPEN SPACE DEVELOPMENT
 ORCHARD WAY PROFILE**

LOCATION: 15 GREAT ROAD
 TOWN: LITTLETON, MASSACHUSETTS
 PREPARED FOR:

**FIFTEEN GREAT
 ROAD LLC**

SCALE: AS SHOWN' DATE: MARCH 20, 2012

Places Associates, Inc.

Planning, Landscape Architecture,
 Civil Engineering, Surveying
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 LITTLETON, MA 01460
 978.486.0534 Fax
 978.486.0447
 EMAIL: places@verizon.net
 PROJECT No. 11-6303 PLAN No. 6303-PS-13