

# "VILLAGE GREEN APARTMENTS"

## 40B COMPREHENSIVE PERMIT APPLICATION

at 15 Great Road  
Littleton, Massachusetts

### NOTE:

ALL SUPPLEMENTAL DATA SUBMITTED IN CONJUNCTION WITH THIS 40B COMPREHENSIVE PERMIT APPLICATION AS REQUIRED BY THE LITTLETON ZONING BOARD OF APPEALS IS HEREBY INCORPORATED AS PART OF THE PLAN SET. THIS PLAN, ITS SUPPORTING DOCUMENTATION AND FORM WORK ARE SUBMITTED PURSUANT TO THE PROVISIONS OF THE TOWN OF LITTLETON'S ZONING BOARD OF APPEALS MODEL RULES FOR THE ISSUANCE OF A COMPREHENSIVE PERMIT AND MASSACHUSETTS GENERAL LAW, CHAPTER 40B.

### LITTLETON ASSESSOR DATA:

MAP & PARCEL: MAP U01 PARCELS  
2-0, 6-0, 32-17, 32-18, 32-20, 32-27 AND  
32-28.

### REFERENCES:

MIDDLESEX SOUTH REGISTRY OF DEEDS

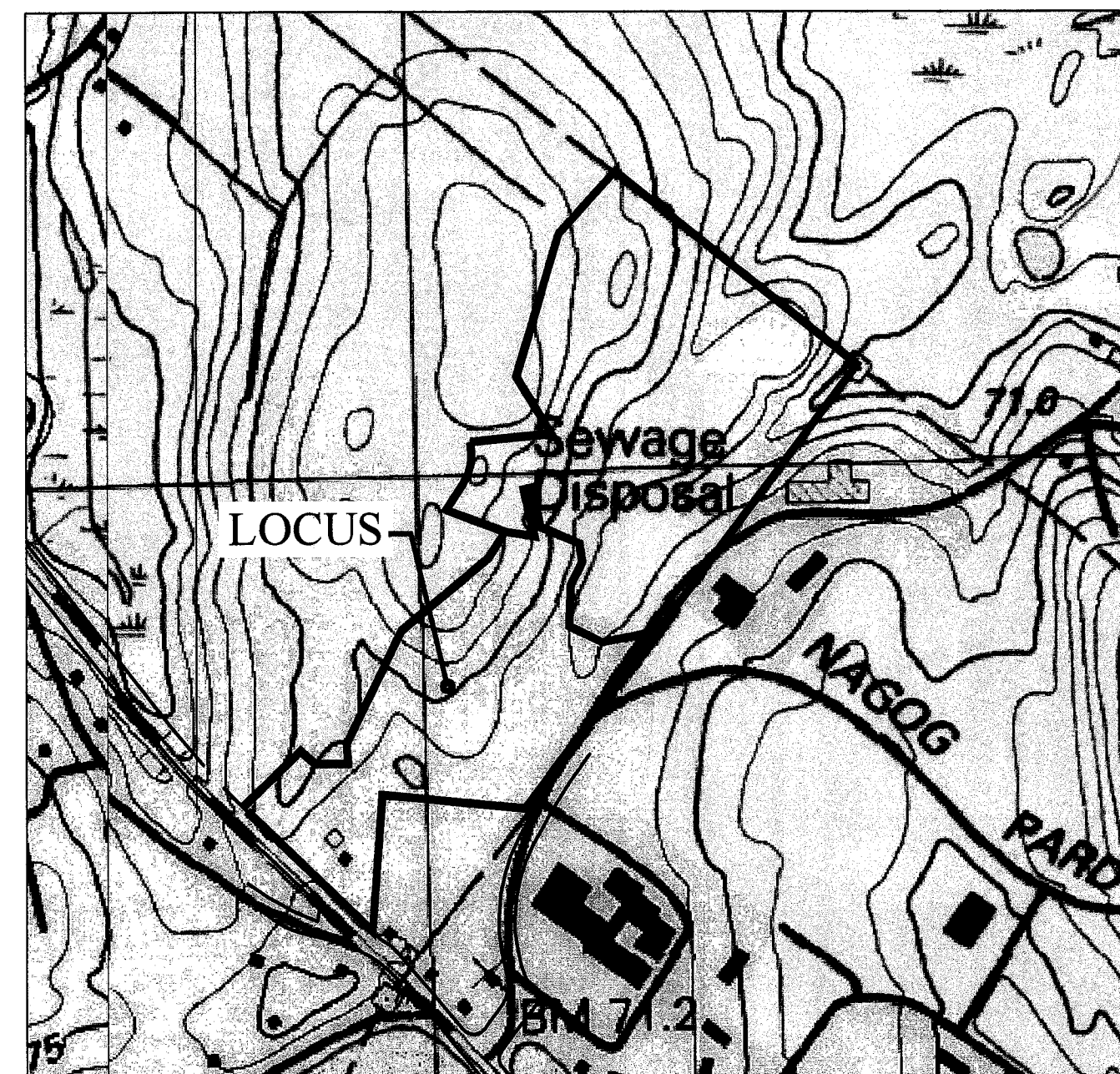
BK 44725 PG 484  
BK 54533 PG 583  
BK 58154 PG 123  
BK 58154 PG 126

### ZONING

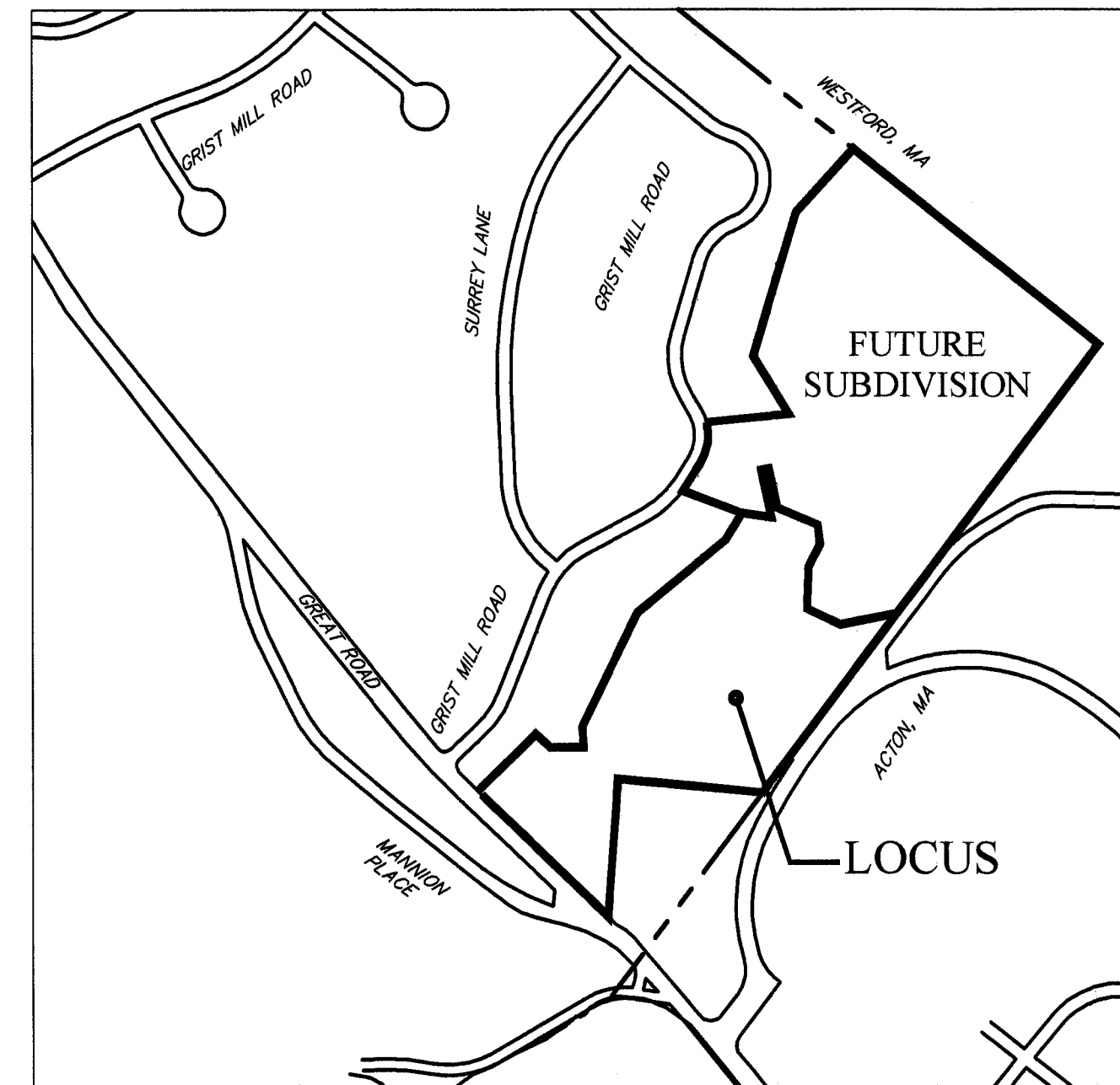
R-RESIDENTIAL

SITE DOES NOT CONTAIN ANY FLOOD HAZARD  
ZONE PER FLOOD INSURANCE RATE MAP  
25017C243E PANEL 243 OF 656 EFFECTIVE  
JUNE 4, 2010.

SITE IS NOT WITHIN A LITTLETON AQUIFER OR  
WATERSHED PROTECTION OVERLAY DISTRICT.



LOCUS  
SCALE: 1" = 600'



LOCUS  
SCALE: 1" = 600'

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### APPLICANT:

Fifteen Great Road LLC  
200 Baker Avenue-Suite 303  
Concord, MA 01742

### OWNERS:

Nashoba Place Realty Trust (Parcel 2.0)  
John R. Keilty, Trustee  
Seven Dearborn Rd.  
Peabody, MA 01960

JFM Realty Trust (Parcel 6.0)  
Leslie French, Trustee  
P.O. Box 1472  
Littleton, MA 01460

Littleton Holding Realty Trust  
(Parcels 32-17, 32-18, 32-19, 32-20,  
32-27, 32-28)  
John R. Keilty, Trustee  
40 Lowell Ave.  
Peabody, MA 01960

PLANNER, LANDSCAPE ARCHITECT, CIVIL  
ENGINEER & SURVEYOR:  
Places Associates, Inc.  
510 King Street, Suite 9  
Littleton, MA 01460

### ARCHITECT:

Maugel Architects, Inc.  
200 Ayer Road  
Harvard, MA 01451



REVISIONS:  
2-16-12 GENERAL REVISION

### COVER SHEET

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR:

FIFTEEN GREAT  
ROAD LLC

SCALE: AS SHOWN DATE: MAY 2011

Places Associates, Inc.

Planning, Landscape Architecture,  
Civil Engineering, Surveying  
510 KING STREET, SUITE 9  
LITTLETON, MA 01460  
978.486.0334 Fax  
978.486.0447  
EMAIL: places@verizon.net

PROJECT No.: 11-6303 PLAN No. CP-1

PERMIT SET  
NOT FOR CONSTRUCTION



1. PRIOR TO THE PREPARATION OF BIDS AND/OR THE INITIATION OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN AND CAREFULLY EXAMINE THIS PLAN SET, RELATED CONSTRUCTION PLAN SETS FROM EITHER PROFESSIONAL DISCIPLINES, CONSTRUCTION SPECIFICATIONS, MANUFACTURERS INFORMATION AND ANY APPLICABLE PERMIT REQUIREMENTS/CONDITIONS OF APPROVAL FOR THE PROJECT.
2. THE EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. DIG SAFE AND THE APPROPRIATE UTILITY COMPANIES SHALL BE CONTACTED BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
3. NOT ALL UTILITIES WERE ABLE TO BE LOCATED BY RECORD INFORMATION, SITE SURVEYS OR UTILITY LOCATOR SERVICES. THE DESIGN ENGINEER AND BASE PLAN SURVEYOR DO NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OR SUBSURFACE STRUCTURES WHICH ARE OMITTED OR INACCURATELY SHOWN. PRIOR TO THE INITIATION OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION/ELEVATION OF EXISTING UTILITIES SHOWN ON THE PLAN.
4. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCY BETWEEN THE LOCATION/ELEVATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS AND THAT WHICH IS FOUND IN THE FIELD.
5. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL LAND SURVEYOR TO PROVIDE LAYOUT & CONTROL FOR THE DEVELOPMENT OF THE SITE.
6. ALL CONSTRUCTION UNDER AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE CONSTRUCTED TO WITHSTAND A DIRECT H2O DESIGN LOAD. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITY/SITE IMPROVEMENT AREAS UNDER LANDSCAPED/NON-TRAFFIC BEARING AREAS FROM TEMPORARY CONSTRUCTION LOADS DURING CONSTRUCTION.
7. THE CONSTRUCTION SHOWN ON THESE PLANS REQUIRES AN ORDER OF CONDITIONS BE ISSUED BY THE LITTLETON CONSERVATION COMMISSION. THE CONTRACTOR SHALL OBTAIN A COPY OF SUCH ORDERS OF CONDITIONS PRIOR TO ANY SITE-RELATED DISTURBANCES AND SHALL COMPLY WITH APPROPRIATE CONDITIONS FOR CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTY FROM DAMAGE. ALL DAMAGES BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED AT NO COST TO THE OWNER.
9. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS (BOUNDS, PINS, PIPES, DRILL HOLES, ETC.) THROUGHOUT ALL PHASES OF CONSTRUCTION. ANY DISTURBED MONUMENTS SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
10. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY CONTRADICTION, INCOMPLETE OR MISLABELED INFORMATION SHOWN ON THE PLANS OR PLANS PREPARED BY OTHERS. THE CONTRACTOR SHALL ALLOW FOR ADEQUATE TIME FOR THE ENGINEER TO RESPOND/PROVIDE DIRECTION FOR THE PLAN DISCREPANCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SHOP DRAWINGS OF PRODUCTS/MATERIALS TO THE ENGINEER AND/OR THE LOCAL APPROVING AUTHORITY AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR IF REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION OVER THE PRODUCT. ADEQUATE TIME SHALL BE ALLOWED FOR THE SHOP DRAWINGS TO BE REVIEWED AND RETURNED TO THE CONTRACTOR PRIOR TO ORDERING THE SPECIFIED PRODUCTS/MATERIALS.
12. ALL SUPPLEMENTAL DATA SUBMITTED IN CONJUNCTION WITH THIS PRELIMINARY SUBDIVISION AS REQUIRED BY THE SUBDIVISION REGULATIONS IS HEREBY INCORPORATED AS PART OF THE PLAN SET.
13. ALL PERMANENT BOUNDARY AND SURVEY MONUMENTS SHALL BE INSTALLED AFTER THE COMPLETION OF ALL HEAVY SITE WORK.
14. NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED OF WITHIN THE LIMITS OF THE PROJECT. ALL WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
15. UNLESS OTHERWISE SPECIFIED OR SHOWN, ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STANDARDS DESCRIBED IN THE TOWN OF LITTLETON'S SUBDIVISION CONTROL REGULATIONS. IF NOT SPECIFIED THEREIN, SUCH CONSTRUCTION SHALL THEN CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MDOT, FORMERLY MASSHIGHWAY) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST VERSION.
16. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN, A PERMIT FROM MASS HIGHWAY TO CONSTRUCT WITHIN A PUBLIC WAY FOR WORK WITHIN GREAT ROAD, STATE ROUTE 24. CONTROLLED DENSITY FILL SHALL BE USED AS PAVEMENT BASE COURSE WITHIN THE STATE HIGHWAY LAYOUT.
17. WETLANDS DELINEATION PERFORMED BY OXBOW ASSOCIATES, INC. OF ACTON, MA IN APRIL 2011. LOCATIONS OF FLAGS WERE FIELD-SURVEY LOCATED BY PLACES ASSOCIATES, INC. THE FINAL WETLANDS LIMITS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LITTLETON CONSERVATION COMMISSION.
18. TOWN LINES DEPICTED HEREON ARE DERIVED FROM PLAN RECORD INFORMATION AND WILL BE FIELD SURVEY DETERMINED PRIOR TO SUBMITTAL OF A DEFINITIVE PLAN.

1. THE LIMITS OF WORK SHALL BE FIELD ESTABLISHED PRIOR TO INITIATION OF ANY CONSTRUCTION, SITE EXPLORATIONS OR EARTHEN DISTURBANCE.
2. EROSION CONTROLS SHALL BE IMPLEMENTED PRIOR TO SITE CLEARING OR DISTURBANCE. SEE EROSION AND SEDIMENTATION CONTROL PLAN.
3. EXCEPT FOR THE SETUP FOR ENTRY TO THE SITE, NO CONSTRUCTION OR CONTRACTOR'S VEHICLES SHALL BE PARKED ON GRIST MILL ROAD OR GREAT ROAD, UNLESS COORDINATED WITH ADJACENT PROPERTY OWNERS, ALL CONSTRUCTION STAGING, STOCKPILE AND PARKING AREAS SHALL BE ONSITE.
4. LOAM SHALL BE STOCKPILED FOR RE-USE ON THE SITE TO THE EXTENT PRACTICAL, SEE EROSION AND SEDIMENTATION CONTROL PLAN.
5. NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE WASTED OR OMITTED FROM THE LIMITS OF THE PROJECT. THE WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS. THE SITE SHALL BE KEPT IN A NEAT AND ORDERLY FASHION.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TRENCH OPERATIONS PERMIT PURSUANT TO THE REQUIREMENTS OF THE TOWN OF LITTLETON AND 520 CMR 14.00 (AKA "JACKIE'S LAW").

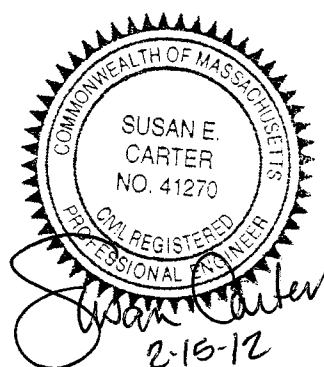
BITUMINOUS CONCRETE PAVEMENT	<p>ALL SITE PAVING SHALL BE CLASS 1 BITUMINOUS CONCRETE. MIXTURES SHALL BE COMPOSED OF MINERAL AGGREGATE, MINERAL FILLER (IF REQUIRED) AND BITUMINOUS MATERIAL. THE MIXTURE MAY INCLUDE RECLAIMED ASPHALT PAVEMENT AT THE OPTION OF THE CONTRACTOR.</p> <p>THE MIXTURE COMPOSITION AND TOLERANCES SHALL MEET THE SPECIFICATIONS FOR BINDER COURSE AND FOR SURFACE MIXTURES AS SPECIFIED IN TABLE A OF SSMB M3.11.0. IF RECLAIMED ASPHALT PAVEMENT (RAP) IS USED IN THE MIXTURE, THE PROPORTION OF RAP TO VIRGIN AGGREGATE SHALL BE LIMITED TO A MAXIMUM OF 40% FOR DRUM MIX PLANTS AND 20% FOR MODIFIED BATCH PLANTS.</p>															
CAST IN PLACE CONCRETE	<p>ALL SITE CAST IN PLACE CONCRETE AND RELATED REINFORCING SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE AMERICAN SOCIETY OF TESTING AND MATERIALS (ASTM). FOR PRODUCT MATERIALS, FORM WORK, PLACEMENT AND CURING. ALL SITE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE REQUIRED IN THE CONSTRUCTION DOCUMENTS.</p>															
CONTROLLED DENSITY FILL (CDF)	<p>CONTROL DENSITY FILL SHALL BE A FLOWABLE, SELF-CONSOLIDATING, RIGID SETTING, LOW DENSITY MATERIAL THAT CAN SUBSTITUTE FOR COMPACTED GRAVELS FOR BACKFILLS, FILLS AND STRUCTURAL FILLS. CDF SHALL BE EXCAVATABLE BY HAND TOOLS AND/OR SMALL EQUIPMENT WHEN PLACED AND CURED. CDF SHALL MEET THE REQUIREMENTS OF SSMB M4.0.0B, TYPE 2E, AND SHALL MEET THE FOLLOWING REQUIREMENTS:</p> <ul style="list-style-type: none"> <li>A. CDF IS TO BE BATCHED AT A READY MIX PLANT AND IS TO BE USED AT A HIGH OF "VERY HIGH SLUMP FROM 10" TO 12". IT SHALL BE FLOWABLE AND REQUIRE NO VIBRATION AFTER IT HAS BEEN PLACED.</li> <li>B. CDF SHALL BE A MIXTURE OF PORTLAND CEMENT, FLYASH, SAND AND WATER DESIGNED TO MEET THE CDF REQUIREMENTS. HIGH AIR ENTRAINMENT MAY BE SUBSTITUTED FOR FLYASH WITH AN ADJUSTMENTS (25%) ADJUSTMENT IN SAND CONTENT.</li> <li>C. CDF MUST MEET THE FOLLOWING STRENGTH REQUIREMENTS: <ul style="list-style-type: none"> <li>-28 DAY COMPRESSIVE STRENGTH: 30-80 PSI</li> <li>-90 DAY COMPRESSIVE STRENGTH: 100 PSI MAX</li> </ul> </li> </ul>															
CRUSHED STONE	<p>CRUSHED STONE SHALL BE THE SIZE AS INDICATED ON THE PLANS. THE STONE SHALL BE FROM A STONE QUARRY THAT PRODUCES HARD, ANGULAR, DURABLE WASHED STONE FREE FROM DEBRIS AND ORGANIC MATERIALS. THE STONE SHALL MEET THE REQUIREMENTS OF SSMB M2.01.0</p>															
DENSE GRADED CRUSHED STONE	<p>DENSE GRADED CRUSHED STONE SHALL CONSIST OF THE COMBINATION OF CRUSHER-RUN COARSE AGGREGATES (MEETING SSMB M2.01.0) AND FINE AGGREGATES OF NATURAL SAND OR STONE SCREENING UNIFORMLY PREMISED WITH A PREDETERMINED QUANTITY OF WATER. COARSE AGGREGATE SHALL CONSIST OF HARD, DURET THE REQUIREMENTS OF FRAGMENTS OF STONE MATERIALS THAT BREAK UP WHEN ALTERNATELY FROZEN AND THAWED OR WETTED AND DRIED SHALL NOT BE USED. FINE AGGREGATE SHALL CONSIST OF NATURAL OR CRUSHED SAND. THE GRADATION/MATERIAL SHALL COMPLY WITH THE SPECIFICATIONS OF SSMB M2.01.7</p>															
GLACIAL TILL	<p>A. GLACIAL TILL: A NATURAL INORGANIC SOIL APPROVED BY THE ENGINEER AND MEETING THE FOLLOWING REQUIREMENTS:</p> <ul style="list-style-type: none"> <li>A. IT SHALL BE FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIALS, FROZEN MATERIALS AND STONES GREATER THAN TWO INCHES IN MAXIMUM DIMENSION.</li> <li>B. IT SHALL BE A SILT LOAM AS DEFINED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL TEXTURAL CLASSIFICATION.</li> <li>C. THE SOIL SHALL CONSIST OF GREATER THAN 50% SILT, 12% TO 27% CLAY, OR 50% TO 80% SILT AND LESS THAN 12% CLAY.</li> </ul>															
GRAVEL BORROW	<p>GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL, THAT IS HARD, DURABLE STONE AND COURSE SAND, FREE FROM CLAY, SURFACE COATINGS, ORGANIC AND DELETERIOUS MATERIAL. ALL GRAVEL BORROW SHALL MEET THE REQUIREMENTS OF SSMB M1.03.0. MAXIMUM STONE SIZE SHALL BE AS FOLLOWS:</p> <p>TYPE A: 6" LARGEST DIMENSION  TYPE B: 3" LARGEST DIMENSION  TYPE C: 2" LARGEST DIMENSION</p>															
LOAM (BORROW)	<p>LOAM SHALL CONSIST OF NATURAL TOPSOIL, FREE FROM SUB-SOIL, OBTAINED FROM AN AREA WHICH HAS NEVER BEEN STRIPPED. LOAM SHALL BE OF UNIFORM QUANTITY, FREE FROM HARD CLODS, STIFF CLAY, HARDPAN, SOD, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, ASHES, SLAG, CONCRETE, TAIL RESIDUE, FURRED PAPER, BOARDS, CHIPS OR ANY OTHER UNSERVICEABLE MATERIAL.</p> <p>LOAM SHALL CONTAIN BETWEEN 5.5 AND 7.5 PERCENT ORGANIC MATTER AS DETERMINED BY LOSS ON IGNITION OF A MOISTURE-FREE SAMPLE DRIED IN ACCORDANCE WITH THE CURRENT METHOD OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS.</p> <p>THE ACIDITY RANGE OF THE LOAM SHALL BE PH 6.5 TO PH 7.5 INCLUSIVE.</p> <p>THE MECHANICAL ANALYSIS OF THE SOIL SHALL BE AS FOLLOWS:</p> <table border="1"> <thead> <tr> <th>U.S. SIEVE SIZE &amp; NUMBER</th> <th>PERCENT PASSING MINIMUM</th> <th>PERCENT PASSING MAXIMUM</th> </tr> </thead> <tbody> <tr> <td>1 INCH</td> <td>100%</td> <td></td> </tr> <tr> <td>1/4 INCH</td> <td>97%</td> <td>100%</td> </tr> <tr> <td>NO. 100 (SAND)</td> <td>49%</td> <td>60%</td> </tr> <tr> <td>NO. 100 (SILT &amp; CLAY)</td> <td>40%</td> <td>60%</td> </tr> </tbody> </table>	U.S. SIEVE SIZE & NUMBER	PERCENT PASSING MINIMUM	PERCENT PASSING MAXIMUM	1 INCH	100%		1/4 INCH	97%	100%	NO. 100 (SAND)	49%	60%	NO. 100 (SILT & CLAY)	40%	60%
U.S. SIEVE SIZE & NUMBER	PERCENT PASSING MINIMUM	PERCENT PASSING MAXIMUM														
1 INCH	100%															
1/4 INCH	97%	100%														
NO. 100 (SAND)	49%	60%														
NO. 100 (SILT & CLAY)	40%	60%														
ORDINARY BORROW	<p>ORDINARY BORROW SHALL CONSIST OF MATERIAL NOT SPECIFIED AS ANY OTHER EARTHEN MATERIAL. ORDINARY BORROW SHALL BE WELL GRADED, NATURAL, INORGANIC MATERIAL ACCEPTABLE TO THE ENGINEER FOR THE GENERAL FILLING TO THE SPECIFIED SUB-GRADE. THE MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:</p> <ul style="list-style-type: none"> <li>A. IT SHALL BE FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIAL, OF FROZEN MATERIALS AND OF STONES LARGER THAN 6 INCHES IN MAXIMUM DIMENSION.</li> <li>B. IT SHALL BE OF SUCH NATURE &amp; CHARACTER THAT IT CAN BE COMPACTED TO THE SPECIFIED DENSITIES IN A REASONABLE AMOUNT OF TIME.</li> <li>C. IT SHALL BE FREE OF HIGHLY PLASTIC CLAYS, OF ALL MATERIALS SUBJECT TO DECAY, DECOMPOSITION, AND OF MATERIALS OF OTHER MATERIALS WHICH WILL CORRODE PIPING OR OTHER BURIED MATERIALS.</li> <li>D. IT SHALL HAVE A MAXIMUM DRY DENSITY OF NOT LESS THAN 100 POUNDS PER CUBIC FOOT AND LESS THAN 40% OF THE MATERIAL SHALL PASS THE NUMBER 200 SIEVE.</li> <li>E. EXCAVATED ROCK &amp; Boulders SMALLER THAN ONE CUBIC YARD IN SIZE MAY BE USED IN FILL AREAS UNDER LAWS ONLY: PROVIDED THEY ARE A MINIMUM OF 24 INCHES BELOW THE SUBGRADE, PLACED AND COMPACTED IN LAYERS WITH NO VOIDS AND ALL INTERSTICES FILLED.</li> </ul>															
RIP RAP	<p>RIP-RAP STONE SHALL BE SOUND, DURABLE ROCK, ANGULAR IN SHAPE. RIP RAP SHALL BE FREE FROM DEBRIS, ORGANIC OR DELETERIOUS MATERIAL. ROUNDED STONES, BOULDERS, SANDSTONE OR SIMILAR SOFT STONE OR RELATIVELY THIN SLABS WILL NOT BE PERMITTED UNLESS SPECIFICALLY PERMITTED BY THE DESIGN ENGINEER. ALL RIP RAP MATERIALS SHALL MEET THE REQUIREMENTS OF SSMB M2.02.0.</p>															
SAND BORROW	<p>SAND BORROW SHALL CONSIST OF CLEAN RIFT, HARD, DURABLE GRAINS OF QUARTZ OR OTHER HARD DURABLE ROCK, FREE FROM LOAM OR CLAY. SURFACE COATINGS AND DELETERIOUS MATERIALS. THE ALLOWABLE AMOUNT OF MATERIAL PASSING A #200 SIEVE AS DETERMINED BY AASTO T 11 SHALL NOT EXCEED 10% MASS. ALL SAND BORROW SHALL MEET THE REQUIREMENTS OF SSMB M1.04.0. MAXIMUM STONE SIZE SHALL BE AS DEPICTED IN THE PLANS.</p>															
COMPACTION TESTING	<p>ALL EARTHEN MATERIALS SHALL BE COMPACTED TO THE DRY DENSITY INDICATED IN THE CONSTRUCTION DOCUMENTS AND/OR AS IS REQUIRED BY CODE OR SPECIFICATIONS AND DETERMINE DRY DENSITY SHALL BE DETERMINED FROM A SAMPLE OF THE MATERIAL TO BE USED AND TESTED IN ACCORDANCE WITH THE MODIFIED PROCTOR DRY DENSITY TEST AS DEFINED IN ASTM D1557, METHOD C.</p>															

**ABBREVIATION**

ASHTO ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS

ABR  
AR-1 ACCESSIBLE RAMP - TYPE 1  
AR-2 ACCESSIBLE RAMP - TYPE 2  
AR-3 ACCESSIBLE RAMP - TYPE 3  
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS  
B&B BALL & BURLAP  
BC BOTTOM CURB ELEVATION  
BIT. CONC. BITUMINOUS CONCRETE  
BLDG BUILDING  
BM BENCHMARK  
BR BOTTOM RAMP ELEVATION  
CALC CALCULATED  
CB CONCRETE BOUND  
CF CUBIC FOOT  
CIP CAST IRON PIPE  
CMP CORRUGATED METAL PIPE  
CONC. CONCRETE  
CTB CATCH BASIN  
CY CUBIC YARD  
D DRILL HOLE  
DI DUCTILE IRON PIPE  
DMA DIAMETER  
DMH DRAIN MANHOLE  
ELEV ELEVATION  
ELEM. MANHOLE ELEMENT MANHOLE  
EX. EXISTING  
EXT. EXTERIOR  
FDT FOUNDATION  
FES FLARED END SECTION  
FFE FINISH FLOOR ELEVATION  
FG FINISH GRADE  
FIND FOUND  
FSB FIELD STONE BOUND  
FT FEET - LINEAR MEASURE  
GAL GALLON  
GALONS PER MINUTE GALLONS PER MINUTE  
HDPE HIGH DENSITY POLYETHYLENE PIPE  
HP HIGH POINT  
HT HEIGHT  
I. PIN IRON PIN  
IP IRON PIPE  
ID INSIDE DIAMETER  
INV. PIPE INVERT ELEVATION  
LP LOW POINT  
MAX MAXIMUM  
MWB MASS HIGHWAY BOUND  
MIN MINIMUM  
MUTCD MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES  
OC ON CENTER  
OD OUTSIDE DIAMETER  
OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION  
P&P PLUG & PIN  
PSI POUNDS PER SQUARE INCH  
PSP POLYSPRINKLER PIPE  
R ROUND CONCRETE PIPE  
R & S REMOVE & STOCKPILE ITEM  
REQ'D REQUIRED  
STONE BOUND  
SMH SEWER MANHOLE  
SPR SPREAD  
STAKE & STONE  
SSHB STANDARD SPECIFICATIONS OF HIGHWAYS & BRIDGES, THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS  
STV SLOPED TO VERTICAL CURB TRANSITION SEGMENT  
TBM TEMPORARY BENCH MARK  
TC TOP OF CURB ELEVATION  
TMH TELEPHONE MANHOLE  
TOP TOP OF CONCRETE FOUNDATION ELEVATION  
TOP OF RAMP ELEVATION  
TYP TYPICAL FOR ALL ITEMS SHOWN  
UTILITY  
VGTS VERTICAL GRANITE CURB TRANSITION SEGMENT

	EXISTING	PROPOSED
INDEX CONTOUR	-100	100
INTERMEDIATE CONTOUR	-99	99
SPOT GRADE	x 100.52	x 100.52
STONE WALL		
EDGE OF WOODS		
EDGE OF WATER BODY		
100' YEAR FLOOD LINE		
EDGE OF WETLAND		
25' BUFFER		
50' BUFFER		
75' BUFFER		
100' BUFFER		
WETLAND		
WETLAND FLAG		
RIVERFRONT		
100' RIVER BUFFER		
200' RIVER BUFFER		
SILTATION BARRIER		
BUILDING SETBACK LINE		
WELL		
TREE		
FLAGPOLE		
BOUND		
DRILL HOLE		
IRON PIN		
BENCHMARK		
PERC TEST		
TEST PIT		
SOIL BORING		
EDGE OF GRAVEL		
EDGE OF WALK		
EXPANSION JOINT		
CONSTRUCTION JOINT		
EDGE OF PAVEMENT		
CAPE COD BERM		
BIT CONC. (TYPE 3)		
CONCRETE CURB		
VERT. GRANITE CURB		
SLOPED GRANITE CURB		
STOCKADE FENCE		
CHAIN LINK FENCE		
FENCE - OTHER		
FENCE GATE		
GUARD RAIL		
WOOD GUIDE RAIL		
ROOT BARRIER		
SIGN POST		
FOUNDATION DRAIN		
ROOF DRAIN		
DRAIN LINE		
DRAIN MANHOLE		
CATCHBASIN		
FLARED END IN/OUT		
CLEANOUT		
IRRIGATION LINE		
FIRE PROTECTION LINE		
WATER LINE		
WATER VALVE		
FIRE HYDRANT		
WATER SHUTOFF		
OVERHEAD WIRES		
UNDERGROUND WIRES		
GUY POLE		
UTILITY POLE		
GUY ANCHOR		
UTILITY BOX		
STREETLIGHT		
LAMP POST		
ELECTRIC MANHOLE		
TELEPHONE MANHOLE		
SEWER LINE		
SEWER FORCE MAIN		
LOW PRESSURE SEWER		
SEWER MANHOLE		
GAS LINE		
GAS VALVE		



## 2-16-12 GENERAL REVISION

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR: **FIFTEEN**  
**GREAT ROAD II**  
**LLC**

SCALE: AS NOTED      DATE: MAY 2011

Places Associates, Inc.

*Planning, Landscape Architecture,  
Civil Engineering, Surveying*

510 KING STREET SUITE 9

LITTLETON, MA 01460

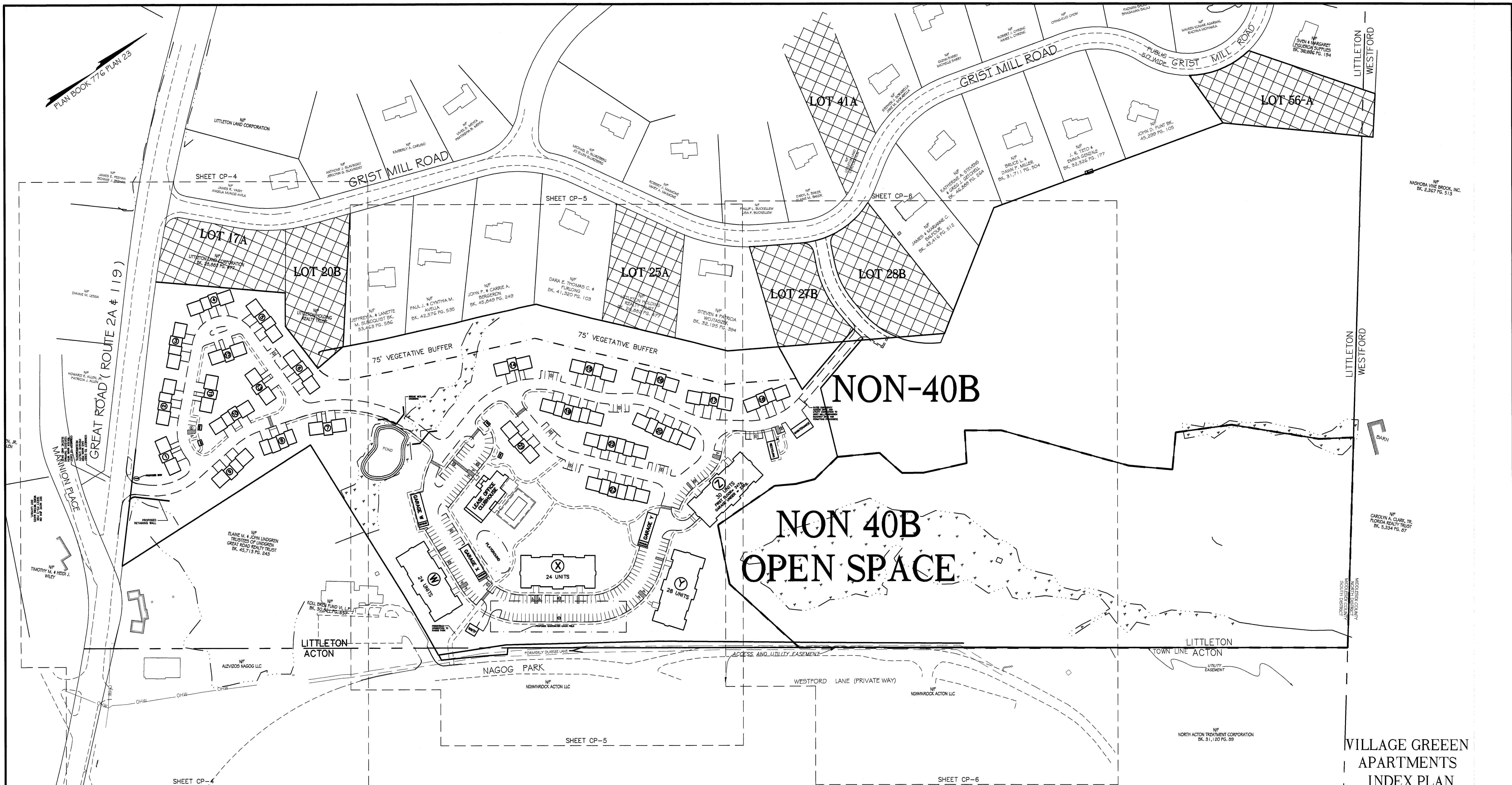
978.486.0334 Fax  
978.486.0447

EMAIL *places@verizon.net*

PROJECT No.: 11-6303 PLAN No. CP-2

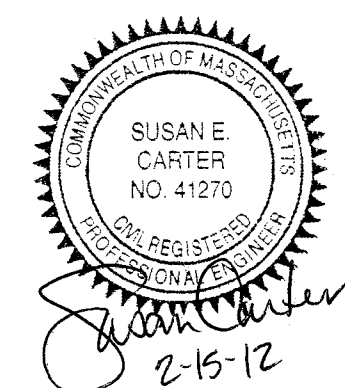
PERMIT SET  
NOT FOR CONSTRUCTION





NOTES:

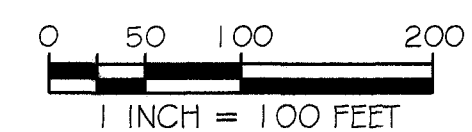
1. PLAN IS THE COMPILATION OF INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY, WETLANDS DELINEATIONS BY OXBOW ASSOCIATES AND LIMITED ON THE GROUND SURVEY BY PLACES ASSOCIATES, INC.
2. REFER TO SHEET CP-2 FOR ADDITIONAL NOTES.
3. REFER TO UTILITY PLANS FOR CONCEPTUAL DRAINAGE LAYOUT.



REVISIONS:

2-16-12 GENERAL REVISION

PERMIT SET  
NOT FOR CONSTRUCTION



VILLAGE GREEN  
APARTMENTS  
INDEX PLAN

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR:

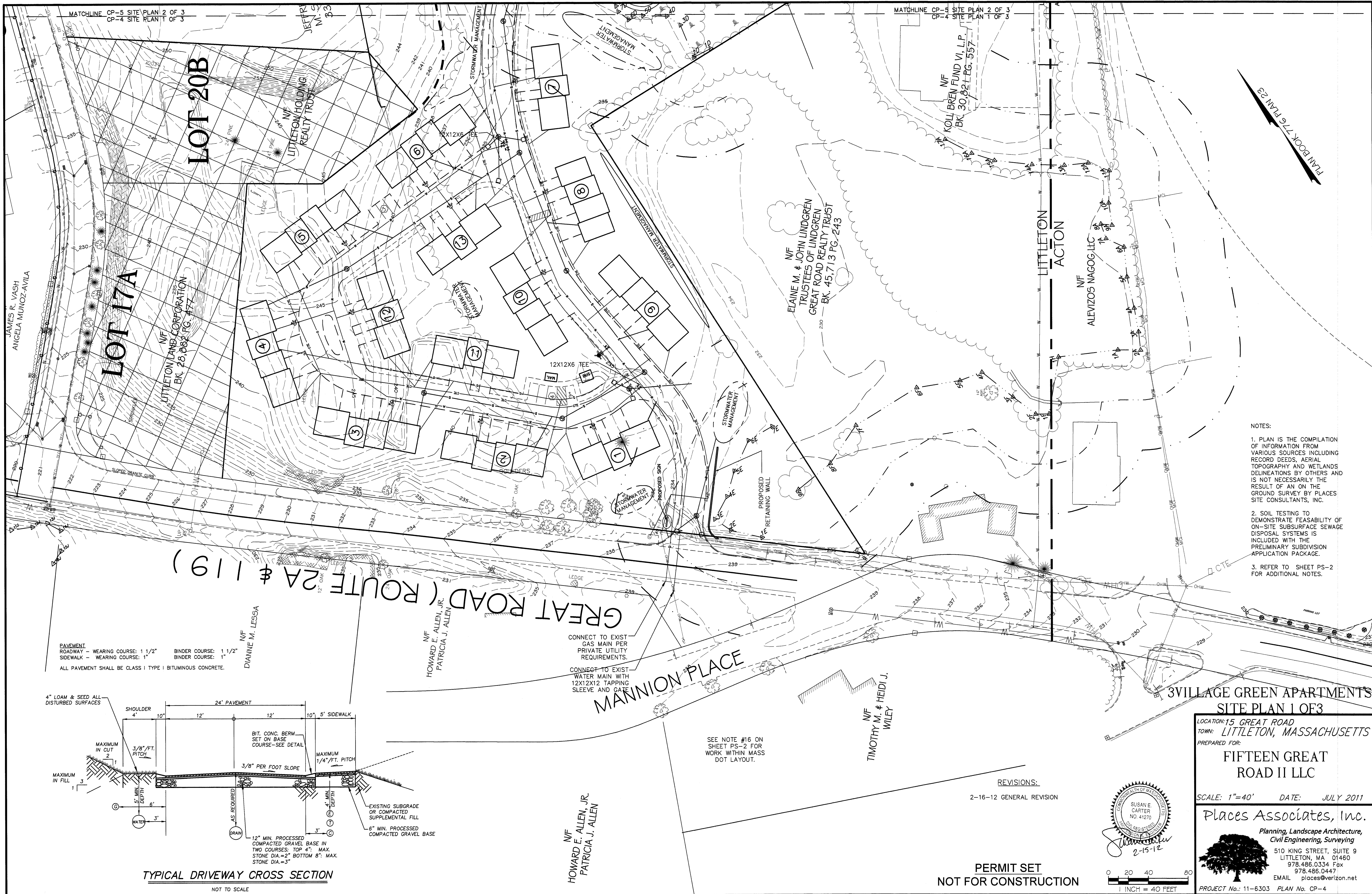
FIFTEEN GREAT  
ROAD II LLC

SCALE: 1"=100' DATE: JULY 2011

Places Associates, Inc.

Planning, Landscape Architecture,  
Civil Engineering, Surveying  
510 KING STREET, SUITE 9  
LITTLETON, MA 01460  
978.486.0334 Fax  
978.486.0447  
EMAIL places@verizon.net  
PROJECT No.: 11-6303 PLAN No. CP-3





- NOTES:
1. PLAN IS THE COMPILATION OF INFORMATION FROM VARIOUS SOURCES INCLUDING RECORD DEEDS, AERIAL TOPOGRAPHY AND WETLANDS DELINEATIONS BY OTHERS AND IS NOT NECESSARILY THE RESULT OF AN ON THE GROUND SURVEY BY PLACES SITE CONSULTANTS, INC.
  2. SOIL TESTING TO DEMONSTRATE FEASIBILITY OF ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEMS IS INCLUDED WITH THE PRELIMINARY SUBDIVISION APPLICATION PACKAGE.
  3. REFER TO SHEET PS-2 FOR ADDITIONAL NOTES.

PAVEMENT:  
ROADWAY - WEARING COURSE: 1 1/2" BINDER COURSE: 1 1/2"  
SIDEWALK - WEARING COURSE: 1" BINDER COURSE: 1"  
ALL PAVEMENT SHALL BE CLASS I TYPE I BITUMINOUS CONCRETE.

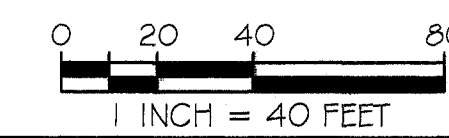
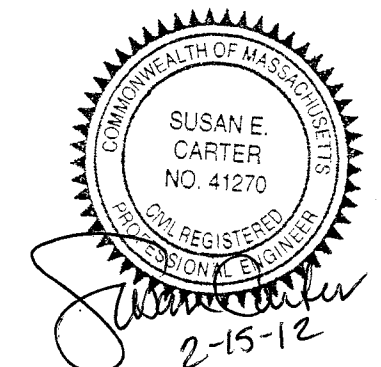
CONNECT TO EXIST GAS MAIN PER PRIVATE UTILITY REQUIREMENTS.

CONNECT TO EXIST WATER MAIN WITH 12X12X12 TAPPING SLEEVE AND GATE

SEE NOTE #16 ON SHEET PS-2 FOR WORK WITHIN MASS DOT LAYOUT.

REVISIONS:  
2-16-12 GENERAL REVISION

PERMIT SET  
NOT FOR CONSTRUCTION



LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR:

FIFTEEN GREAT ROAD II LLC

SCALE: 1"=40' DATE: JULY 2011

Places Associates, Inc.  
Planning, Landscape Architecture,  
Civil Engineering, Surveying  
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EMAIL: places@verizon.net  
PROJECT No.: 11-6303 PLAN No. CP-4

TYPICAL DRIVEWAY CROSS SECTION  
NOT TO SCALE



LOT 25A

N/F  
STEVEN & PATRICIA  
WOJCIASZEK  
BK. 32,195 PG. 394

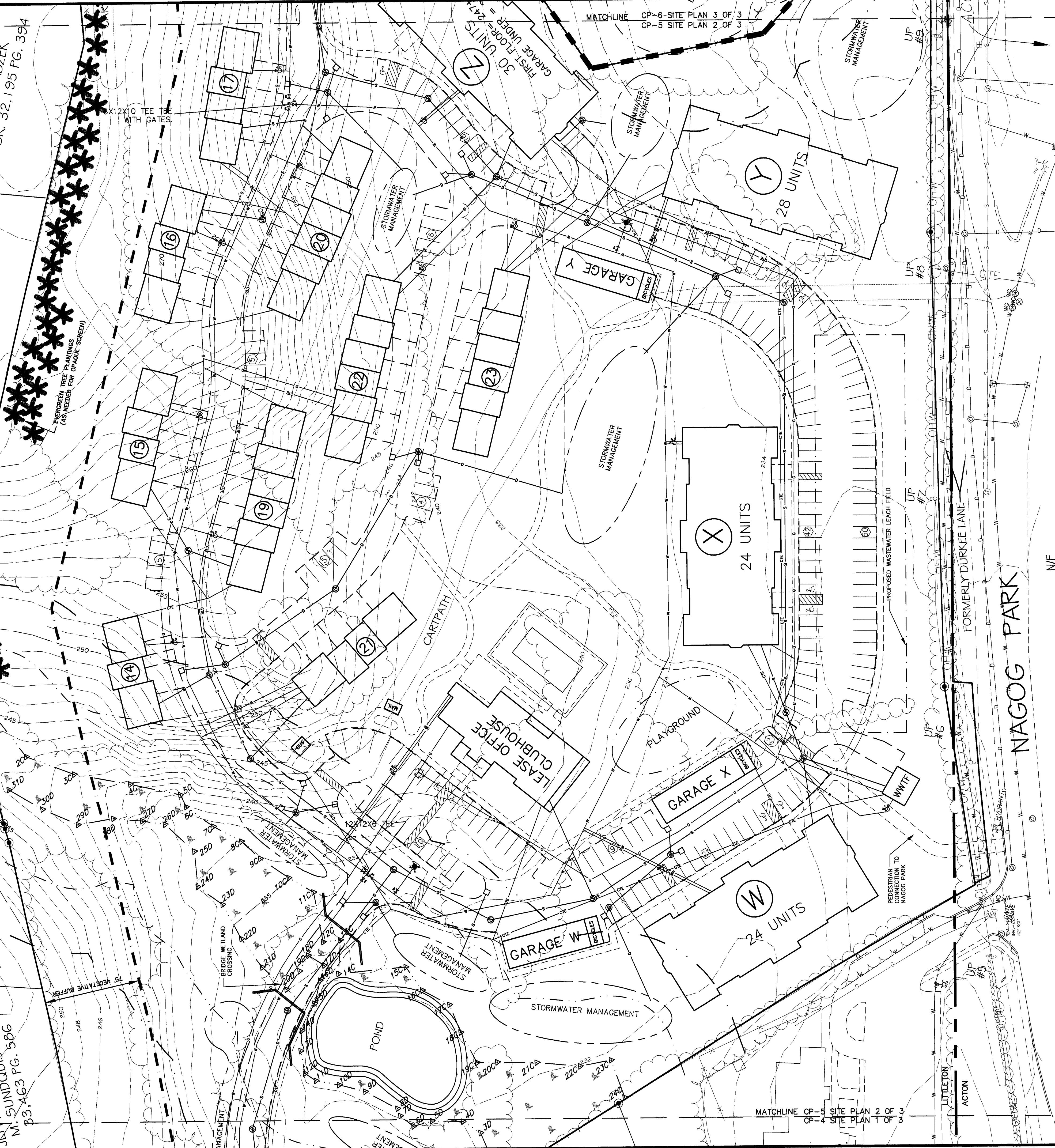
N/F  
LITTLETON HOLDING  
REALTY TRUST  
BK. 28,882 PG. 477

N/F  
DARA E. THOMAS C. &  
FURLONG  
BK. 41,520 PG. 103

N/F  
JOHN P. & CARRIE A.  
BERGERON  
BK. 45,849 PG. 249

N/F  
PAUL J. & ANTHIA W.  
AVELLA  
BK. 42,576 PG. 535

N/F  
JEFFREY A. & LAMETTE  
M. SUNDQUIST BK.  
BK. 3,463 PG. 586



NOTES:

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PERMIT SET  
NOT FOR CONSTRUCTION  
VILLAGE GREEN APARTMENTS  
SITE PLAN 2 OF 3

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS

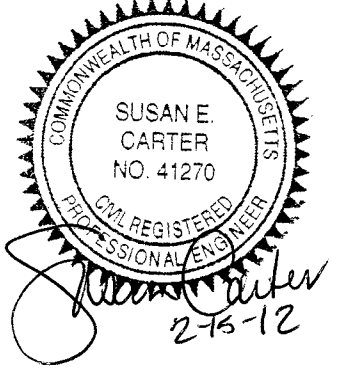
PREPARED FOR:  
FIFTEEN GREAT  
ROAD II LLC

SCALE: 1"=40' DATE: JULY 2011

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PROJECT No.: 11-6303 PLAN No. CP-5



REVISIONS:  
2-16-12 GENERAL REVISION

1"=40'

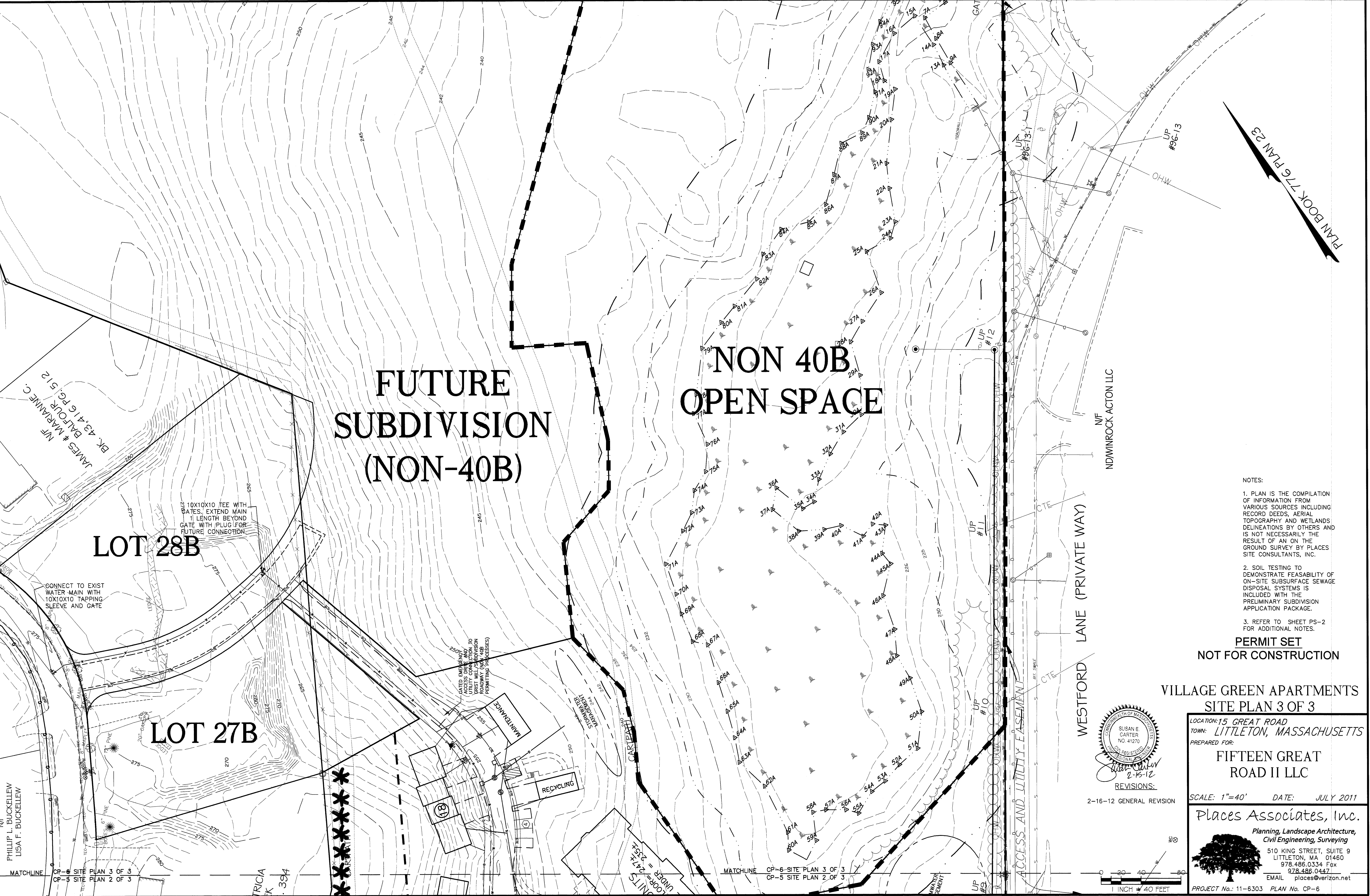
MATCHLINE CP-5 SITE PLAN 2 OF 3  
CP-4 SITE PLAN 1 OF 3

MATCHLINE CP-5 SITE PLAN 2 OF 3  
CP-4 SITE PLAN 1 OF 3

MATCHLINE CP-6 SITE PLAN 3 OF 3  
CP-5 SITE PLAN 2 OF 3

PLAN BOOK 776 PLAN 23





NOTES:

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**PERMIT SET  
NOT FOR CONSTRUCTION**

**VILLAGE GREEN APARTMENTS  
SITE PLAN 3 OF 3**

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR:

**FIFTEEN GREAT  
ROAD II LLC**

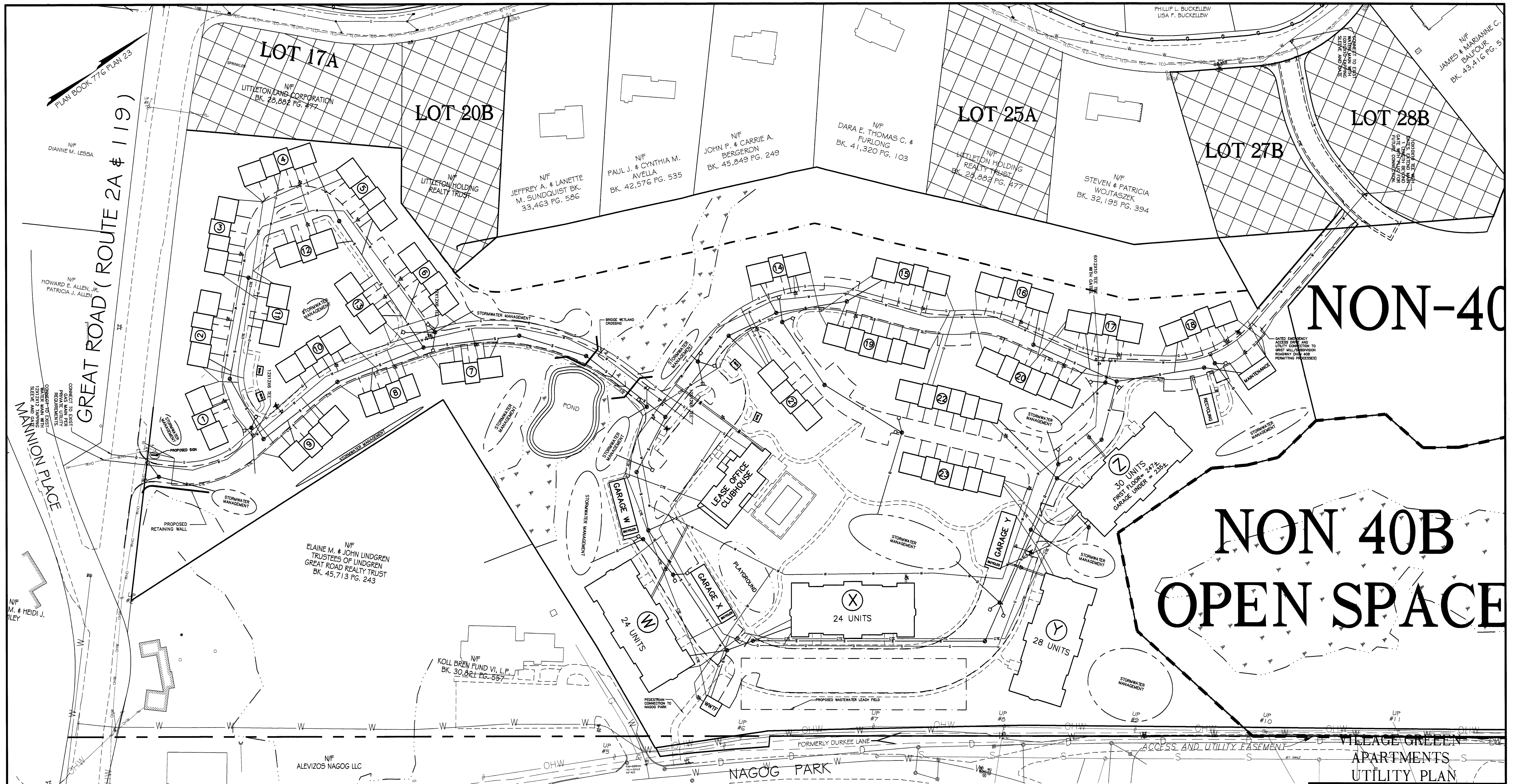
SCALE: 1"=40' DATE: JULY 2011

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PROJECT No.: 11-6303 PLAN No. CP-6





NON-40

NON 40B  
OPEN SPACE

NOTES:

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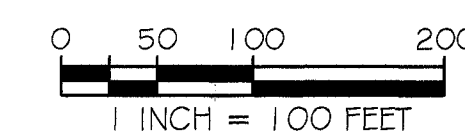
3. REFER TO UTILITY PLANS FOR CONCEPTUAL DRAINAGE LAYOUT.



REVISIONS:

2-16-12 GENERAL REVISION

PERMIT SET  
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LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS

PREPARED FOR:

FIFTEEN GREAT  
ROAD II LLC

SCALE: 1"=100' DATE: JULY 2011

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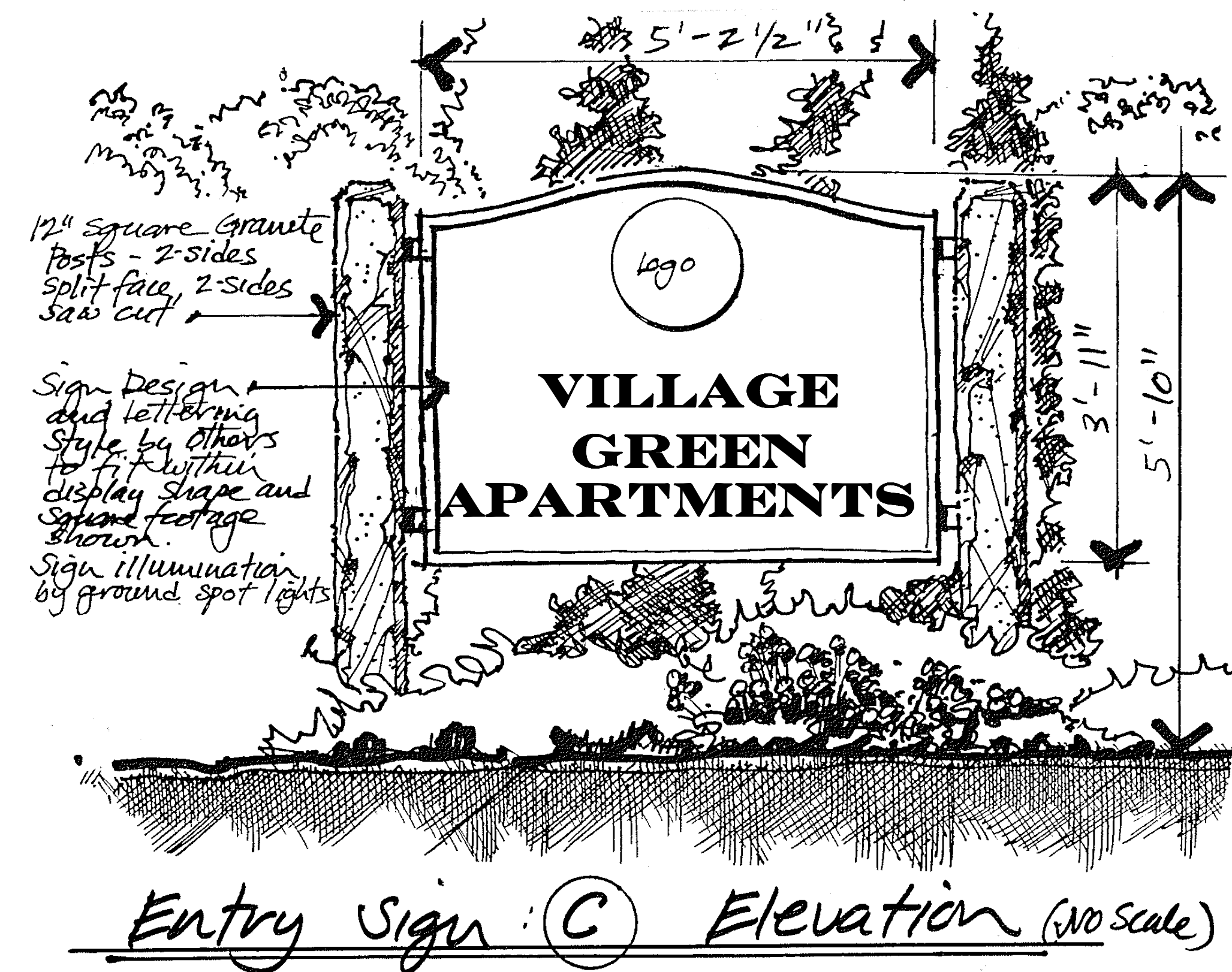
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PROJECT No.: 11-6303 PLAN No. CP-7





Concept Elevation: Community Entry Sign



# VILLAGE GREEN APARTMENTS **SITE SIGN**

LOCATION: 15 GREAT ROAD  
TOWN: LITTLETON, MASSACHUSETTS  
PREPARED FOR:

FIFTEEN GREAT  
ROAD II LLC

SCALE: 1"=100' DATE: JULY 2011

Places Associates, Inc.

Planning, Landscape Architecture,  
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PROJECT No.: 11-6303 PLAN No. CP-10

REVISIONS:

2-16-12 GENERAL REVISION

PERMIT SET  
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