

"VILLAGE GREEN APARTMENTS"

40B COMPREHENSIVE PERMIT APPLICATION

at 15 Great Road

Littleton, Massachusetts

NOTE:

ALL SUPPLEMENTAL DATA SUBMITTED IN CONJUNCTION WITH THIS 40B COMPREHENSIVE PERMIT APPLICATION AS REQUIRED BY THE LITTLETON ZONING BOARD OF APPEALS IS HEREBY INCORPORATED AS PART OF THE PLAN SET. THIS PLAN, ITS SUPPORTING DOCUMENTATION AND FORM WORK ARE SUBMITTED PURSUANT TO THE PROVISIONS OF THE TOWN OF LITTLETON'S ZONING BOARD OF APPEALS MODEL RULES FOR THE ISSUANCE OF A COMPREHENSIVE PERMIT AND MASSACHUSETTS GENERAL LAW, CHAPTER 40B.

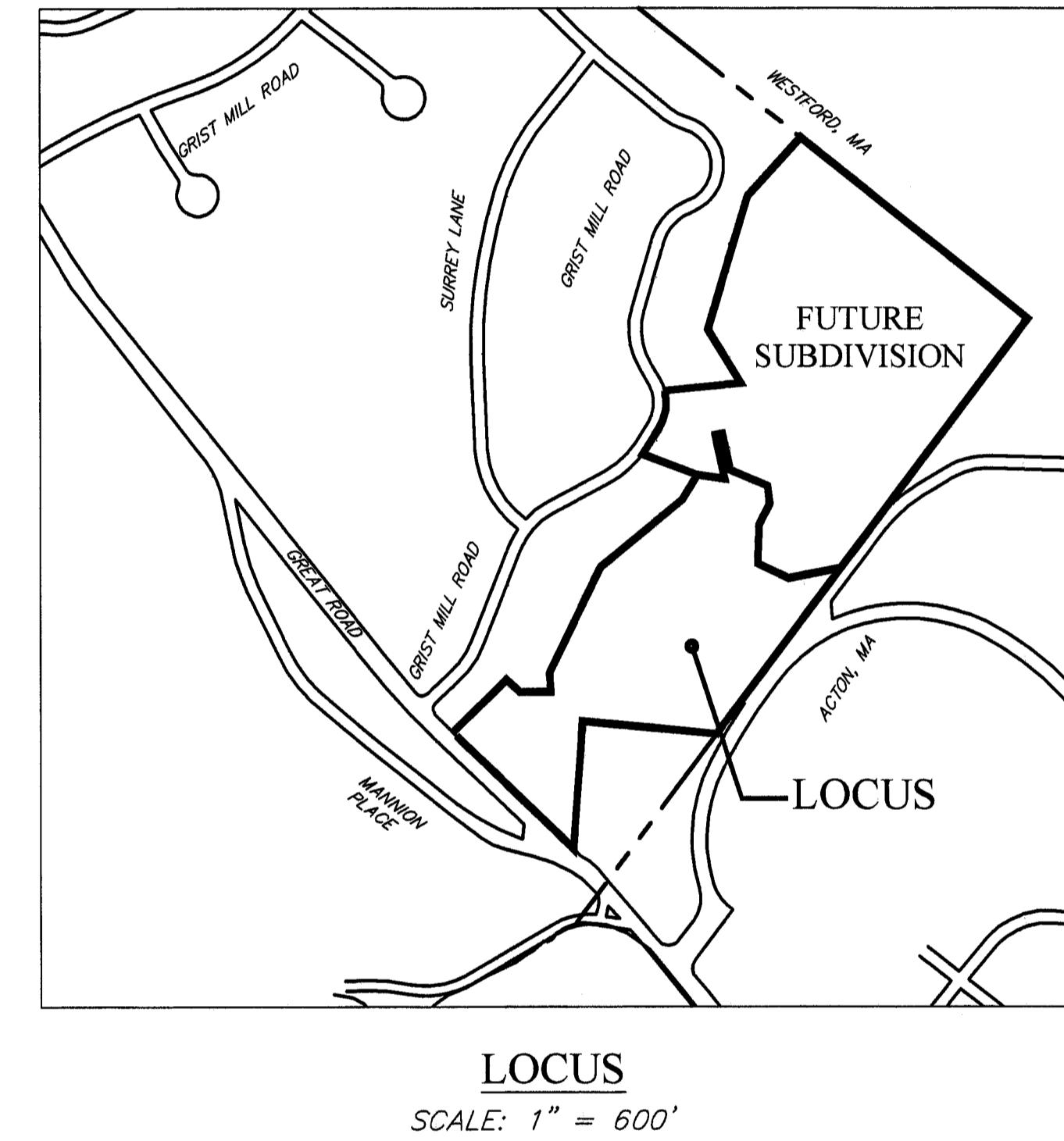
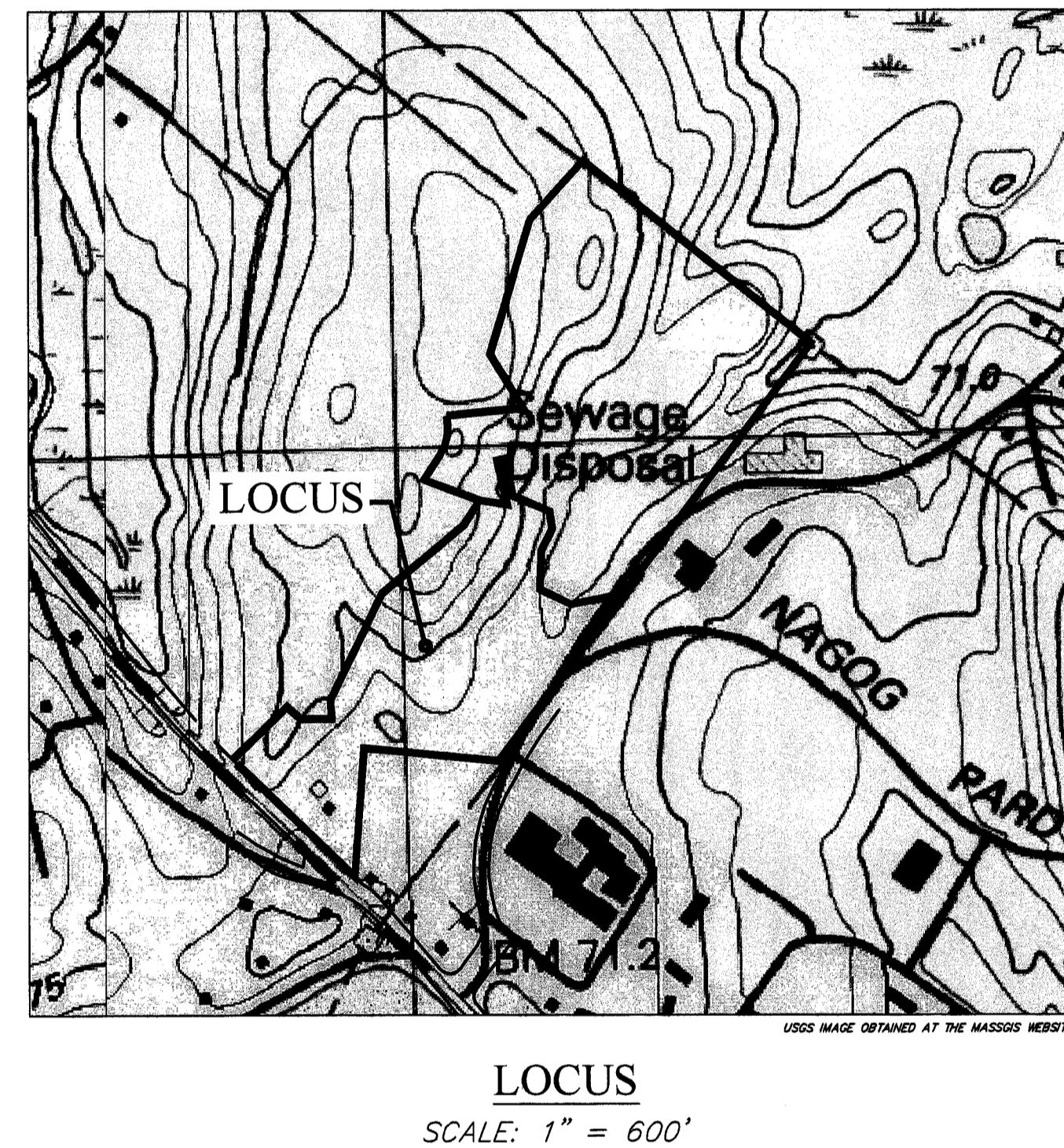
LITTLETON ASSESSOR DATA:
MAP & PARCEL: MAP U01 PARCELS
2-0, 6-0, 32-17, 32-18, 32-20, 32-27 AND
32-28.

REFERENCES:
MIDDLESEX SOUTH REGISTRY OF DEEDS
BK 44725 PG 484
BK 54533 PG 583
BK 58154 PG 123
BK 58154 PG 126

ZONING
R-RESIDENTIAL

SITE DOES NOT CONTAIN ANY FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 25017C243E PANEL 243 OF 656 EFFECTIVE JUNE 4, 2010.

SITE IS NOT WITHIN A LITTLETON AQUIFER OR WATERSHED PROTECTION OVERLAY DISTRICT.



APPLICANT:
Fifteen Great Road LLC
200 Baker Avenue—Suite 303
Concord, MA 01742

OWNERS:
Nashoba Place Realty Trust (Parcel 2.0)
John R. Keilty, Trustee
Seven Dearborn Rd.r
Peabody, MA 01960

JFM Realty Trust (Parcel 6.0)
Leslie French, Trustee
P.O. Box 1472
Littleton, MA 01460

Littleton Holding Realty Trust
(Parcels 32-17, 32-18, 32-19, 32-20,
32-27, 32-28)
John R. Keilty, Trustee
40 Lowell Ave.
Peabody, MA 01960

PLANNER, LANDSCAPE ARCHITECT, CIVIL ENGINEER & SURVEYOR:
Places Associates, Inc.
510 King Street, Suite 9
Littleton, MA 01460

ARCHITECT:
Maugel Architects, Inc.
200 Ayer Road
Harvard, MA 01451



REVISIONS:
2-16-12 GENERAL REVISION

COVER SHEET
LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS
PREPARED FOR:
FIFTEEN GREAT ROAD LLC

SCALE: AS SHOWN DATE: MAY 2011
Places Associates, Inc.
Planning, Landscape Architecture,
Civil Engineering, Surveying
510 KING STREET, SUITE 9
LITTLETON, MA 01460
978.466.0334 Fax
978.466.0447
EMAIL places@verizon.net
PROJECT No.: 11-6303 PLAN No. CP-1

PERMIT SET
NOT FOR CONSTRUCTION

GENERAL NOTES:

- PRIOR TO THE PREPARATION OF BIDS AND/OR THE INITIATION OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN AND CAREFULLY EXAMINE THIS PLAN SET, RELATED CONSTRUCTION PLAN SETS FROM OTHER PROFESSIONAL DISCIPLINES, CONSTRUCTION SPECIFICATIONS, MANUFACTURERS INFORMATION AND ANY APPLICABLE PERMIT REQUIREMENTS/CONDITIONS OF APPROVAL FOR THE PROJECT.
- THE EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. DIG SAFE AND THE APPROPRIATE UTILITY COMPANIES SHALL BE CONTACTED BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- NOT ALL UTILITIES WERE ABLE TO BE LOCATED BY RECORD INFORMATION, SITE SURVEYS OR UTILITY LOCATOR SERVICES. THE DESIGN ENGINEER AND BASE PLAN SURVEYOR DO NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OR SUBSURFACE STRUCTURES WHICH ARE OMITTED OR INACCURATELY SHOWN. PRIOR TO THE INITIATION OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION/ELEVATION OF EXISTING UTILITIES SHOWN ON THE PLAN.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCY BETWEEN THE LOCATION/ELEVATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS AND THAT WHICH IS FOUND IN THE FIELD.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL LAND SURVEYOR TO PROVIDE LAYOUT & CONTROL FOR THE DEVELOPMENT OF THE SITE.
- ALL CONSTRUCTION UNDER AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE CONSTRUCTED TO WITHSTAND A DIRECT H2O DESIGN LOAD. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITY/SITE IMPROVEMENT AREAS UNDER LANDSCAPED/NON-TRAFFIC BEARING AREAS FROM TEMPORARY CONSTRUCTION LOADS DURING CONSTRUCTION.
- THE CONSTRUCTION SHOWN ON THESE PLANS REQUIRES AN ORDER OF CONDITIONS BE ISSUED BY THE LITTLETON CONSERVATION COMMISSION. THE CONTRACTOR SHALL OBTAIN A COPY OF SUCH ORDERS OF CONDITIONS PRIOR TO ANY SITE-RELATED DISTURBANCES AND SHALL COMPLY WITH APPROPRIATE CONDITIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTY FROM DAMAGE. ALL DAMAGES BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURVEY MONUMENTS (BOUNDS, PINS, PIPES, DRILL HOLES, ETC.) THROUGHOUT ALL PHASES OF CONSTRUCTION. ANY DISTURBED MONUMENTS SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON THE DISCOVERY OF ANY CONTRADICTORY, INCOMPLETE OR MISLABELED INFORMATION SHOWN ON THE PLANS OR PLANS PREPARED BY OTHERS. THE CONTRACTOR SHALL ALLOW FOR ADEQUATE TIME FOR THE ENGINEER TO RESPOND/PROVIDE DIRECTION FOR THE PLAN DISCREPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SHOP DRAWINGS OF PRODUCTS/MATERIALS TO THE ENGINEER AND/OR THE LOCAL APPROVING AUTHORITY AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR IF REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION OVER THE PRODUCT. ADEQUATE TIME SHALL BE ALLOWED FOR THE SHOP DRAWINGS TO BE REVIEWED AND RETURNED TO THE CONTRACTOR PRIOR TO ORDERING THE SPECIFIED PRODUCTS/MATERIALS.
- ALL SUPPLEMENTAL DATA SUBMITTED IN CONJUNCTION WITH THIS PRELIMINARY SUBDIVISION AS REQUIRED BY THE SUBDIVISION REGULATIONS IS HEREBY INCORPORATED AS PART OF THE PLAN SET.
- ALL PERMANENT BOUNDARY AND SURVEY MONUMENTS SHALL BE INSTALLED AFTER THE COMPLETION OF ALL HEAVY SITE WORK.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED OF WITHIN THE LIMITS OF THE PROJECT. ALL WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
- UNLESS OTHERWISE SPECIFIED OR SHOWN, ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STANDARDS DESCRIBED IN THE TOWN OF LITTLETON'S SUBDIVISION CONTROL REGULATIONS. IF NOT SPECIFIED THEREIN, SUCH CONSTRUCTION SHALL THEN CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MDOT, FORMERLY MASSHIGHWAY) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST VERSION.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN A PERMIT FROM MASS HIGHWAY TO CONSTRUCT WITHIN A PUBLIC WAY FOR WORK WITHIN GREAT ROAD, STATE ROUTE 2A. CONTROLLED DENSITY FILL SHALL BE USED AS PAVEMENT BASE COURSE WITHIN THE STATE HIGHWAY LAYOUT.
- WETLANDS DELINEATION PERFORMED BY OXBOW ASSOCIATES, INC OF ACTON, MA IN APRIL 2011. LOCATIONS OF FLAGS WERE FIELD-SURVEY LOCATED BY PLACES ASSOCIATES, INC. THE FINAL WETLANDS LIMITS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LITTLETON CONSERVATION COMMISSION.
- TOWN LINES DEPICTED HEREON ARE DERIVED FROM PLAN RECORD INFORMATION AND WILL BE FIELD SURVEY DETERMINED PRIOR TO SUBMITTAL OF A DEFINITIVE PLAN.

SITE WORK NOTES:

- THE LIMITS OF WORK SHALL BE FIELD ESTABLISHED PRIOR TO INITIATION OF ANY CONSTRUCTION, SITE EXPLORATIONS OR EARTHEN DISTURBANCE.
- EROSION CONTROLS SHALL BE IMPLEMENTED PRIOR TO SITE CLEARING OR DISTURBANCE. SEE EROSION AND SEDIMENTATION CONTROL PLAN.
- EXCEPT FOR THE SETUP FOR ENTRY TO THE SITE, NO CONSTRUCTION OR CONTRACTOR'S VEHICLES SHALL BE PARKED ON GRIST MILL ROAD OR GREAT ROAD. UNLESS COORDINATED WITH ADJACENT PROPERTY OWNERS, ALL CONSTRUCTION STAGING, STOCKPILE AND PARKING AREAS SHALL BE ON SITE.
- LOAM SHALL BE STOCKPILED FOR RE-USE ON THE SITE TO THE EXTENT PRACTICAL, SEE EROSION AND SEDIMENTATION CONTROL PLAN.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED, BURNED OR OTHERWISE DISPOSED OF WITHIN THE LIMITS OF THE PROJECT. ALL WASTE, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS. THE SITE SHALL BE KEPT IN A NEAT AND ORDERLY FASHION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TRENCH OPERATIONS PERMIT PURSUANT TO THE REQUIREMENTS OF THE TOWN OF LITTLETON AND 520 CMR 14.00 (AKA "JACKIE'S LAW").

MATERIAL DEFINITIONS:

BITUMINOUS CONCRETE PAVEMENT: ALL SITE PAVING SHALL BE CLASS 1 BITUMINOUS CONCRETE. MIXTURES SHALL BE COMPOSED OF MINERAL AGGREGATE, MINERAL FILLER (IF REQUIRED) AND BITUMINOUS MATERIAL. THE MIXTURE MAY INCLUDE RECLAIMED ASPHALT PAVEMENT AT THE OPTION OF THE CONTRACTOR.

THE MIXTURE COMPOSITION AND TOLERANCES SHALL MEET THE SPECIFICATIONS FOR BINDER COURSE AND TOP COURSE MIXTURES AS SPECIFIED IN TABLE A OF SSBM M3.11.03. IF RECLAIMED ASPHALT PAVEMENT (RAP) IS USED IN THE MIXTURE, THE PROPORTION OF RAP TO VIRGIN AGGREGATE SHALL BE LIMITED TO A MAXIMUM OF 40% FOR DRUM MIX PLANTS AND 20% FOR MODIFIED BATCH PLANTS.

CAST IN PLACE CONCRETE:

ALL SITE CAST IN PLACE CONCRETE AND RELATED REINFORCING SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE AMERICAN SOCIETY OF TESTING AND MATERIALS (ASTM) FOR PRODUCT MATERIALS, FORM WORK, PLACEMENT AND CURING. ALL SITE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE REQUIRED IN THE CONSTRUCTION DOCUMENTS.

CONTROLLED DENSITY FILL (CDF):

CONTROL DENSITY FILL SHALL BE A FLOWABLE, SELF-CONSOLIDATING, RIGID, SETTING LOW DENSITY MATERIAL THAT CAN SUBSTITUTE FOR COMPACTED GRAVELS FOR BACKFILLS, FILLS AND STRUCTURAL FILLS. CDF SHALL BE EXCAVATABLE BY HAND TOOLS AND/OR SMALL EQUIPMENT WHEN PLACED AND CURED. CDF SHALL MEET THE REQUIREMENTS OF SSBM M4.0.08, TYPE 2E, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

A. CDF IS TO BE BATCHED AT A READY MIX PLANT AND IS TO BE USED AT A HIGH OF "VERY HIGH SLUMP FROM 10" TO 12". IT SHALL BE FLOWABLE AND REQUIRE NO VIBRATION AFTER IT HAS BEEN PLACED.

B. CDF SHALL BE A MIXTURE OF PORTLAND CEMENT, FLYASH, SAND AND WATER DESIGNED TO MEET THE CDF REQUIREMENTS. HIGH AIR ENTRAINMENT MAY BE SUBSTITUTED FOR FLYASH WITH AN ADMIXTURE (25%) ADJUSTMENT IN SAND CONTENT.

C. CDF MUST MEET THE FOLLOWING STRENGTH REQUIREMENTS:

-28 DAY COMPRESSIVE STRENGTH: 30-80 PSI

-90 DAY COMPRESSIVE STRENGTH: 100 PSI MAX

CRUSHED STONE:

CRUSHED STONE SHALL BE THE SIZE AS INDICATED ON THE PLANS. THE STONE SHALL BE FROM A STONE QUARRY THAT PRODUCES HARD, ANGULAR, DURABLE, WASHED STONE, FREE FROM DEBRIS AND ORGANIC MATERIALS. THE STONE SHALL MEET THE REQUIREMENTS OF SSBM M2.01.0

DENSE GRADED CRUSHED STONE:

DENSE GRADED CRUSHED STONE SHALL CONSIST OF THE COMBINATION OF CRUSHER-RUN COARSE AGGREGATE (MEETING SSBM M2.01.0) AND FINE AGGREGATES OF NATURAL SAND OR STONE SCREENING UNIFORMLY PREMIXED WITH A PREDETERMINED QUANTITY OF WATER. COARSE AGGREGATE SHALL CONSIST OF HARD, DURABLE PARTICLES OF FRAGMENTS OF STONE. MATERIALS, SUCH AS FROZEN, THAWED, OR WETTED AND DRIED, SHALL NOT BE USED. FINE AGGREGATE SHALL CONSIST OF NATURAL CRUSHED SAND. THE GRADATION/MATERIAL SHALL COMPLY WITH THE SPECIFICATIONS OF SSBM M2.01.7

GLACIAL TILL:

A. GLACIAL TILL: NATURAL INORGANIC SOIL APPROVED BY THE ENGINEER AND MEETING THE FOLLOWING REQUIREMENTS:

A. IT SHALL BE FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIALS, FROZEN MATERIALS AND STONES GREATER THAN TWO INCHES IN MAXIMUM DIMENSION.

B. IT SHALL BE A SILT LOAM AS DEFINED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL TEXTURAL CLASSIFICATION.

C. THE SOIL SHALL CONSIST OF GREATER THAN 50% SILT, 12% TO 27% CLAY, OR 50% TO 80% SILT AND LESS THAN 12% CLAY.

GRAVEL BORROW:

GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM CLAY, SURFACE COATINGS, ORGANIC AND DELETERIOUS MATERIAL. ALL GRAVEL BORROW SHALL MEET THE REQUIREMENTS OF SSBM M1.03.0. MAXIMUM STONE SIZE SHALL BE AS FOLLOWS:

TYPE A: 6" LARGEST DIMENSION

TYPE B: 3" LARGEST DIMENSION

TYPE C: 2" LARGEST DIMENSION

LOAM (BORROW):

LOAM SHALL CONSIST OF NATURAL TOPSOIL, FREE FROM SUB-SOIL, OBTAINED FROM AN AREA WHICH HAS NEVER BEEN STRIPPED. LOAM SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARDPAN, SOD, PARTIALLY DISINTEGRATED STONE, LIME, GROWTH ASH, SLATE, CONCRETE, TAR RESIDUE, TARRED PAPER, BOARDS, CHIPS OR ANY OTHER UNDESIRABLE MATERIAL.

LOAM SHALL CONTAIN BETWEEN 5.5 AND 7.5 PERCENT ORGANIC MATTER AS DETERMINED BY LOSS ON IGNITION OF A MOISTURE-FREE SAMPLE DRIED IN ACCORDANCE WITH THE CURRENT METHOD OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS.

THE ACIDITY RANGE OF THE LOAM SHALL BE PH 6.5 TO PH 7.5 INCLUSIVE.

THE MECHANICAL ANALYSIS OF THE SOIL SHALL BE AS FOLLOWS:

U.S. SIEVE SIZE & NUMBER	PERCENT PASSING	MINIMUM	MAXIMUM
1 INCH	100%	100%	100%
1/2 INCH	97%	100%	100%
NO. 100 (SAND)	49%	60%	60%
NO. 100 (SILT & CLAY)	40%	60%	60%

ORDINARY BORROW:

ORDINARY BORROW SHALL CONSIST OF MATERIAL NOT SPECIFIED AS ANY OTHER EARTHEN MATERIAL. ORDINARY BORROW SHALL BE WELL GRADED, NATURAL, INORGANIC MATERIAL ACCEPTABLE TO THE ENGINEER FOR THE GENERAL FILLING TO THE SPECIFIED SUB-GRADE. THE MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

A. IT SHALL BE FREE OF ORGANIC OR OTHER WEAK OR COMPRESSIBLE MATERIAL OF FROZEN MATERIALS AND OF STONES LARGER THAN 6 INCHES IN MAXIMUM DIMENSION.

B. IT SHALL BE OF SUCH NATURE & CHARACTER THAT IT CAN BE COMPACTED TO THE SPECIFIED DENSITIES IN A REASONABLE AMOUNT OF TIME.

C. IT SHALL BE FREE OF HIGHLY PLASTIC CLAYS, OF ALL MATERIALS SUBJECT TO DECAY, DECOMPOSITION, AND OF CINDERS OR OTHER MATERIALS WHICH WILL CORRODE PIPING OR OTHER BURIED MATERIALS.

D. IT SHALL HAVE A MAXIMUM DRY DENSITY OF NOT LESS THAN 100 POUNDS PER CUBIC FOOT AND LESS THAN 40 % OF THE MATERIAL SHALL PASS THE NUMBER 200 SIEVE.

E. EXCAVATED ROCK & BOULDERS SMALLER THAN ONE CUBIC YARD IN SIZE MAY BE USED IN FILL AREAS BELOW LAWNS ONLY, PROVIDED THEY ARE A MINIMUM OF 24 INCHES BELOW THE SUBGRADE, PLACED AND COMPACTED IN LAYERS WITH NO VOIDS AND ALL INTERSTICES FILLED.

RIP RAP:

RIP RAP STONE SHALL BE SOUND, DURABLE ROCK, ANGULAR IN SHAPE. RIP RAP SHALL BE FREE FROM DEBRIS, ORGANIC OR DELETERIOUS MATERIAL, ROUND STONES, BOULDERS, SANDSTONE OR SIMILAR SOFT STONE OR RELATIVELY SOFT MATERIAL. MAY BE PERMITTED UNLESS SPECIFICALLY PERMITTED BY THE DESIGN ENGINEER. ALL RIP RAP MATERIALS SHALL MEET THE REQUIREMENTS OF SSBM M2.02.0.

SAND BORROW:

SAND BORROW SHALL CONSIST OF CLEAN INERT, HARD, DURABLE GRAINS OF QUARTZ OR OTHER HARD DURABLE ROCK, FREE FROM LOAM OR CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. THE ALLOWABLE AMOUNT OF MATERIAL PASSING A #200 SIEVE AS DETERMINED BY AASHTO T-11 SHALL NOT EXCEED 10% MASS. ALL SAND BORROW SHALL MEET THE REQUIREMENTS OF SSBM M1.04.0. MAXIMUM STONE SIZE SHALL BE AS DEPICTED IN THE PLANS.

COMPACTION TESTING:

ALL EARTHEN MATERIALS SHALL BE COMPACTED TO THE DRY DENSITY INDICATED IN THE CONSTRUCTION DOCUMENTS AND/OR AS IS REQUIRED BY CODE OR REGULATION. MAXIMUM DRY DENSITY SHALL BE DETERMINED FROM A SAMPLE OF THE MATERIAL TO BE USED AND TESTED IN ACCORDANCE WITH THE MODIFIED PROCTOR DRY DENSITY TEST AS DEFINED IN ASTM D3957, METHOD C.

AREAS THAT WERE TESTED AND FOUND TO BE INSUFFICIENTLY COMPACTED SHALL BE RE-TESTED AFTER THE ADDITIONAL COMPACTION HAS BEEN COMPLETED.

ABBREVIATIONS:

AASHTO: AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ASCE: AMERICAN SOCIETY FOR TESTING AND MATERIALS

BC: BOTTOM CURB ELEVATION
BBL: BALL & BURLAP
BNC: BOTTOM CURB ELEVATION
BM: BENCHMARK
BR: BOTTOM RAMP ELEVATION
CAL: CALIPER
CB: CONCRETE BOUND
CF: CUBIC FOOT
CI: CAST IRON PIPE
CMT: CORRODED METAL PIPE
CONC: CONCRETE
CTB: CUBIC YARD
CY: CUBIC YARD
DH: DRILL HOLE
DI: DUCTILE IRON PIPE
DIA: DIAMETER
DIAH: DIAHOLE
ELEV: ELEVATION
EMH: ELECTRIC MANHOLE
EX: EXISTING
EXT: EXTERIOR
FDN: FOUNDATION
FES: FLARED END SECTION
FFE: FINISH FLOOR ELEVATION
FG: FINISH GRADE
FND: FOUNDATION
FT: FOOT, STONE BOUND FEET - LINEAR MEASURE
GAL: GALLON
GPM: GALLONS PER MINUTE
HDP: HIGH DENSITY POLYETHYLENE PIPE
HT: HEIGHT
IP: IRON PIN
I. PIPE: IRON PIPE
ID: INSIDE DIAMETER
INV: IRON VENT
LW: LOW POINT
MAX: MAXIMUM
MHB: MASS HIGHWAY BOUND
MIN: MINIMUM
MUTCD: MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES

OC: ON CENTER
OD: OUTSIDE DIAMETER
OSHA: OSHA
P&P: PLUG & PIN
PSI: POUNDS PER SQUARE INCH
PVC: POLYVINYL CHLORIDE PIPE
PWP: PUMP & CONCRETE PIPE
R&S: REMOVE & STOCKPILE ITEM
REOID: REINFORCING
SB: STONE BOUND
SMH: SEWER MANHOLE
SP: SPANNING
S&S: STAKE & STONE
SSHB: STANDARD SPECIFICATIONS OF HIGHWAYS & BRIDGES, THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS

STV: SLOPED TO VERTICAL CURB TRANSITION SEGMENT
TBM: TEMPORARY BENCH MARK
TC: TOP CURB ELEVATION
TEN: TELEPHONE
TOC: TOP OF CONCRETE FOUNDATION ELEVATION
TR: TOP OF RAMP ELEVATION
TYP: TYPICAL FOR ALL ITEMS SHOWN
UP: UTILITY POLE
VC: VERTICAL GRANITE CURB TRANSITION SEGMENT

TEMPORARY BENCH MARK
TOP CURB ELEVATION
TOP OF CONCRETE FOUNDATION ELEVATION
TOP OF RAMP ELEVATION
TYPICAL FOR ALL ITEMS SHOWN
UTILITY POLE
VERTICAL GRANITE CURB TRANSITION SEGMENT

TD: FOUNDATION DRAIN
RD: ROOF DRAIN
DL: DRAIN LINE
DM: DRAIN MANHOLE
CATCHBASIN
FLARED END IN/OUT
CLEANOUT
IRRIGATION LINE
FIRE PROTECTION LINE
WATER LINE
WATER VALVE
FIRE HYDRANT
WATER SHUTOFF
OVERHEAD WIRES
UNDERGROUND WIRES
GUY POLE
UTILITY POLE
GUY ANCHOR
UTILITY BOX
STREETLIGHT
LAMP POST
ELECTRIC MANHOLE
TELEPHONE MANHOLE
SEWER LINE
SEWER FORCE MAIN
LOW PRESSURE SEWER
SEWER MANHOLE
GAS LINE
GAS VALVE

TEMPORARY BENCH MARK
TOP CURB ELEVATION
TOP OF CONCRETE FOUNDATION ELEVATION
TOP OF RAMP ELEVATION
TYPICAL FOR ALL ITEMS SHOWN
UTILITY POLE
VERTICAL GRANITE CURB TRANSITION SEGMENT

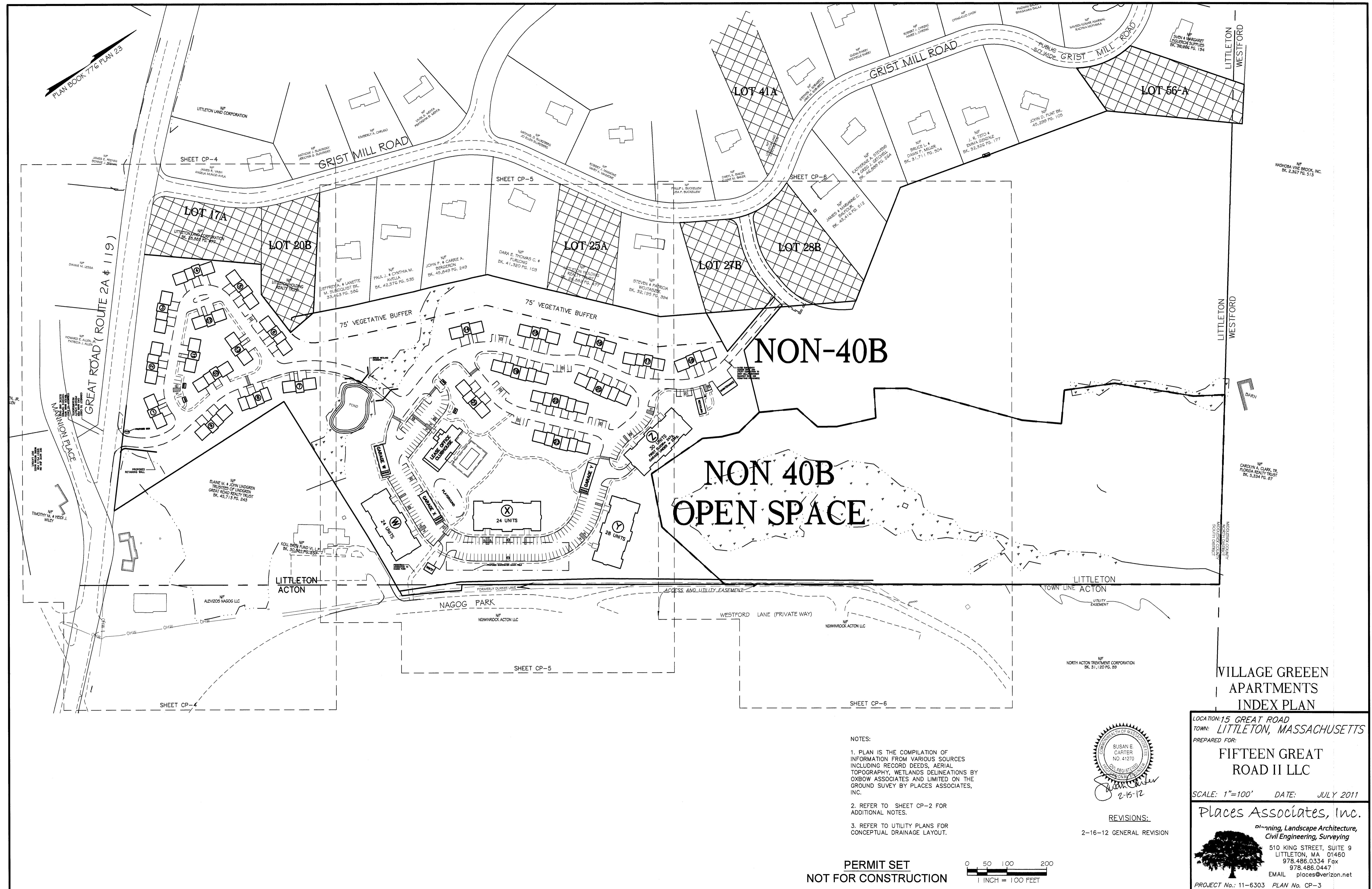
TD: FOUNDATION DRAIN
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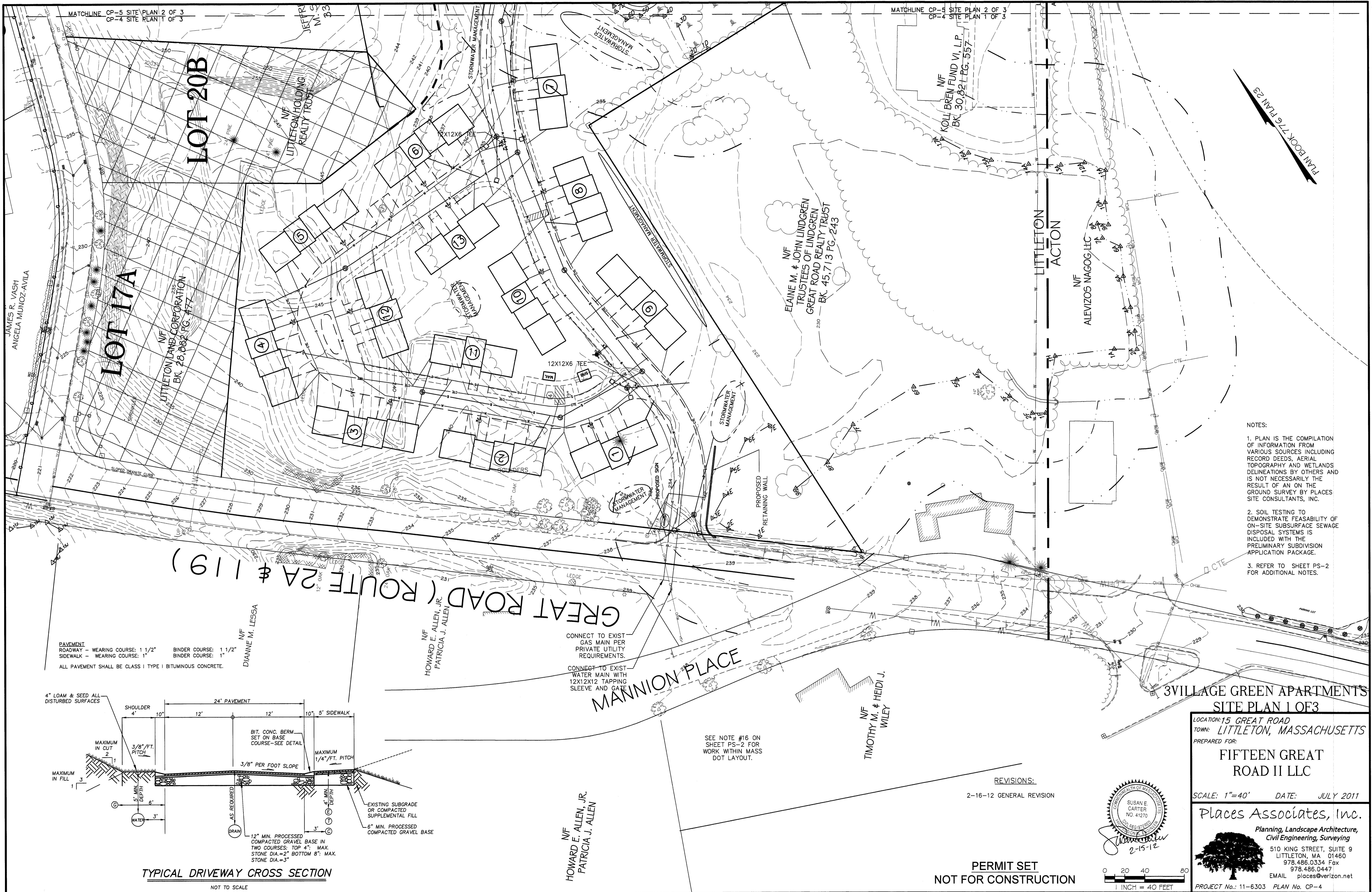
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TD: FOUNDATION DRAIN
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ELECTRIC MANHOLE
TELEPHONE MANHOLE
SEWER LINE
SEWER FORCE MAIN
LOW PRESSURE SEWER
SEWER MANHOLE
GAS LINE
GAS VALVE

TEMPORARY BENCH MARK
TOP CURB ELEVATION
TOP OF CONCRETE FOUNDATION ELEVATION
TOP OF RAMP ELEVATION
TYPICAL FOR ALL ITEMS SHOWN
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VERTICAL GRANITE CURB TRANSITION SEGMENT

TD: FOUNDATION



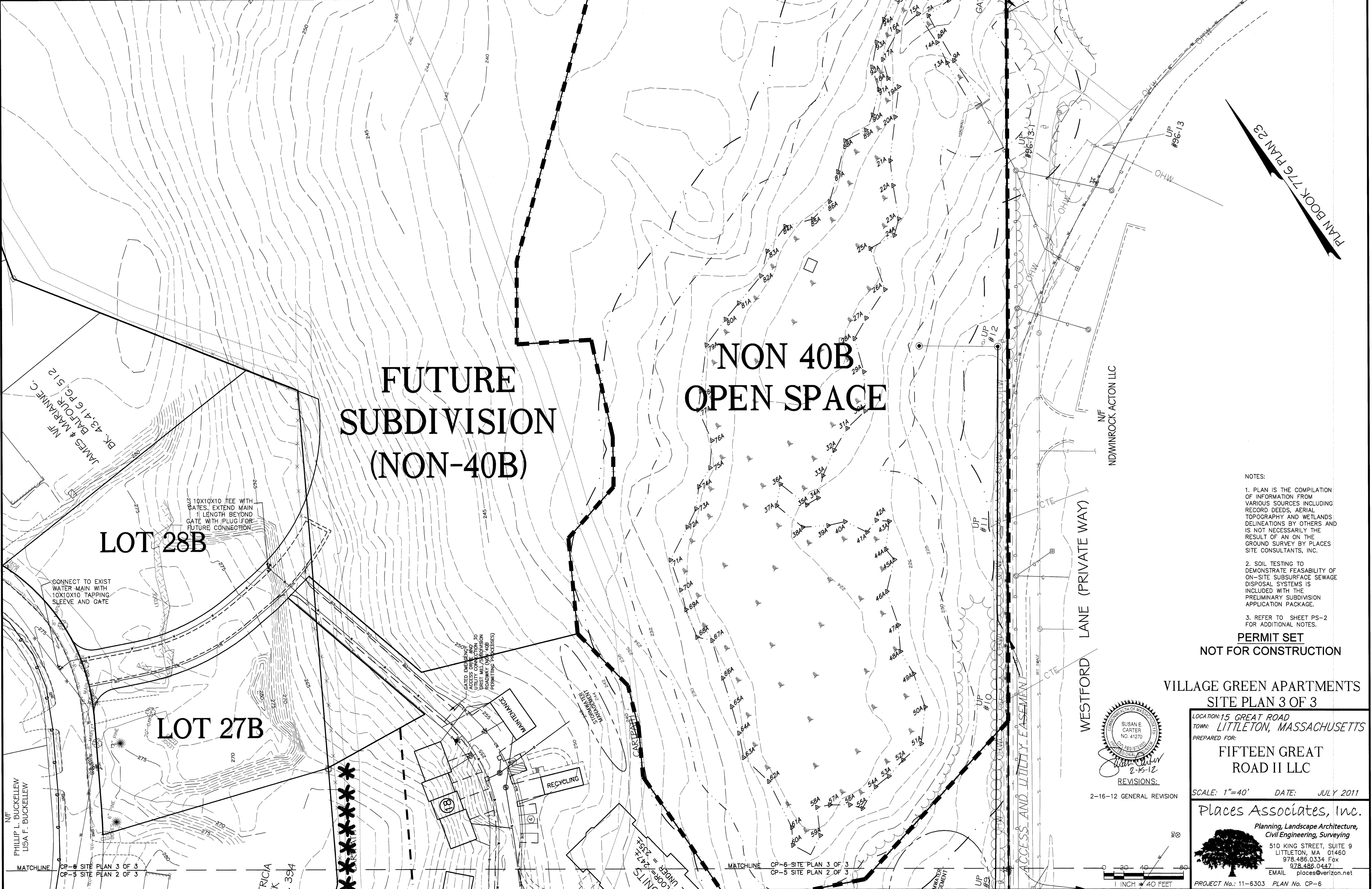


FUTURE SUBDIVISION (NON-40B)

LOT 28B

LOT 27B

PHILIP L. BUCKLEW
LISA F. BUCKLEW



NON 40B OPEN SPACE

NOTES:

1. PLAN IS THE COMPILED
OF INFORMATION FROM
VARIOUS SOURCES INCLUDING
RECORD DEEDS, AERIAL
TOPOGRAPHY AND WETLANDS
DELINEATIONS BY OTHERS AND
IS NOT NECESSARILY THE
RESULT OF AN ON THE
GROUND SURVEY BY PLACES
SITE CONSULTANTS, INC.

2. SOIL TESTING TO
DEMONSTRATE FEASIBILITY OF
ON-SITE SUBSURFACE SEWAGE
DISPOSAL SYSTEMS IS
INCLUDED WITH THE
PRELIMINARY SUBDIVISION
APPLICATION PACKAGE.

3. REFER TO SHEET PS-2
FOR ADDITIONAL NOTES.

**PERMIT SET
NOT FOR CONSTRUCTION**

VILLAGE GREEN APARTMENTS
SITE PLAN 3 OF 3



2-16-12 GENERAL REVISION

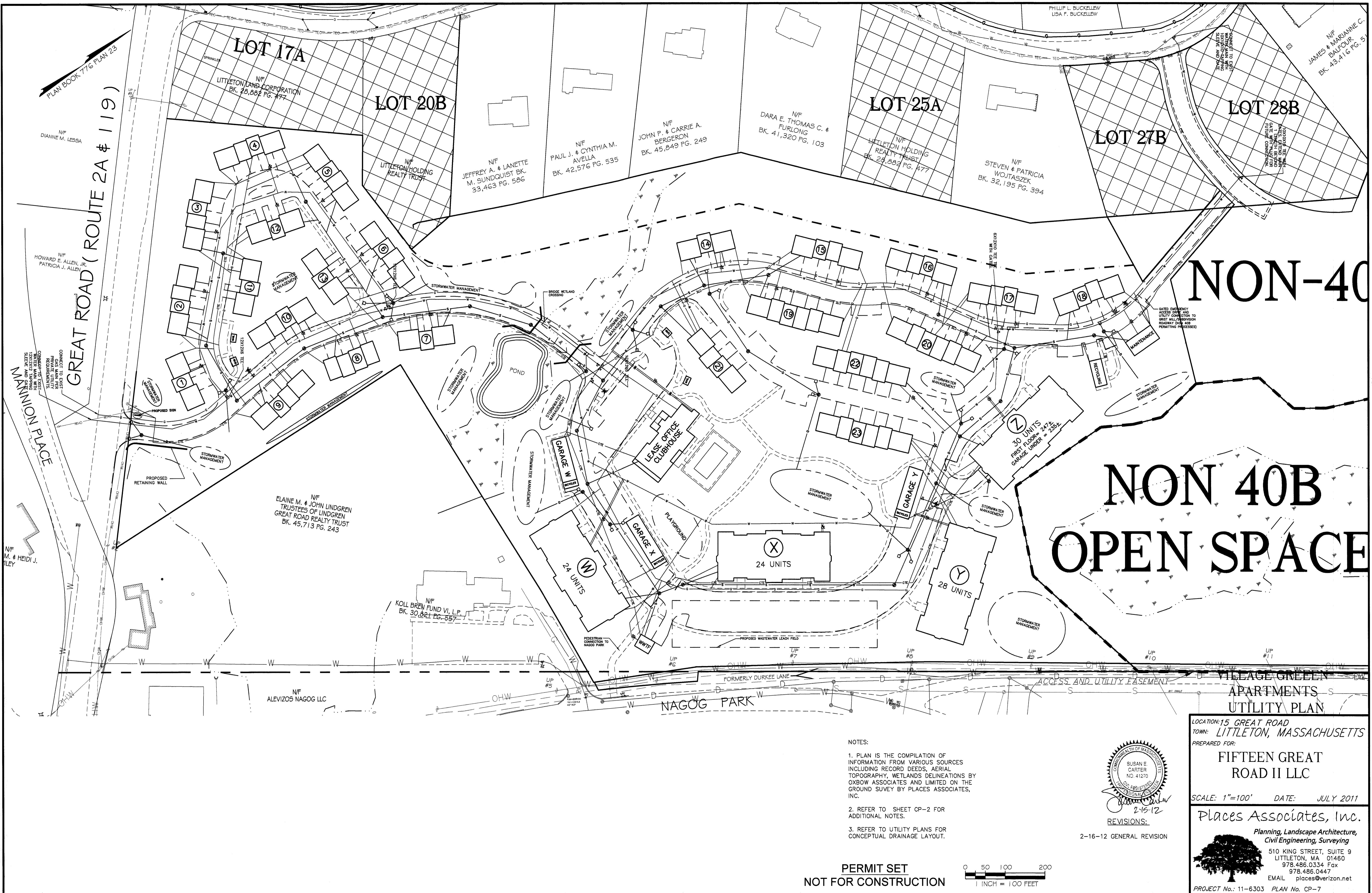
LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS
PREPARED FOR:

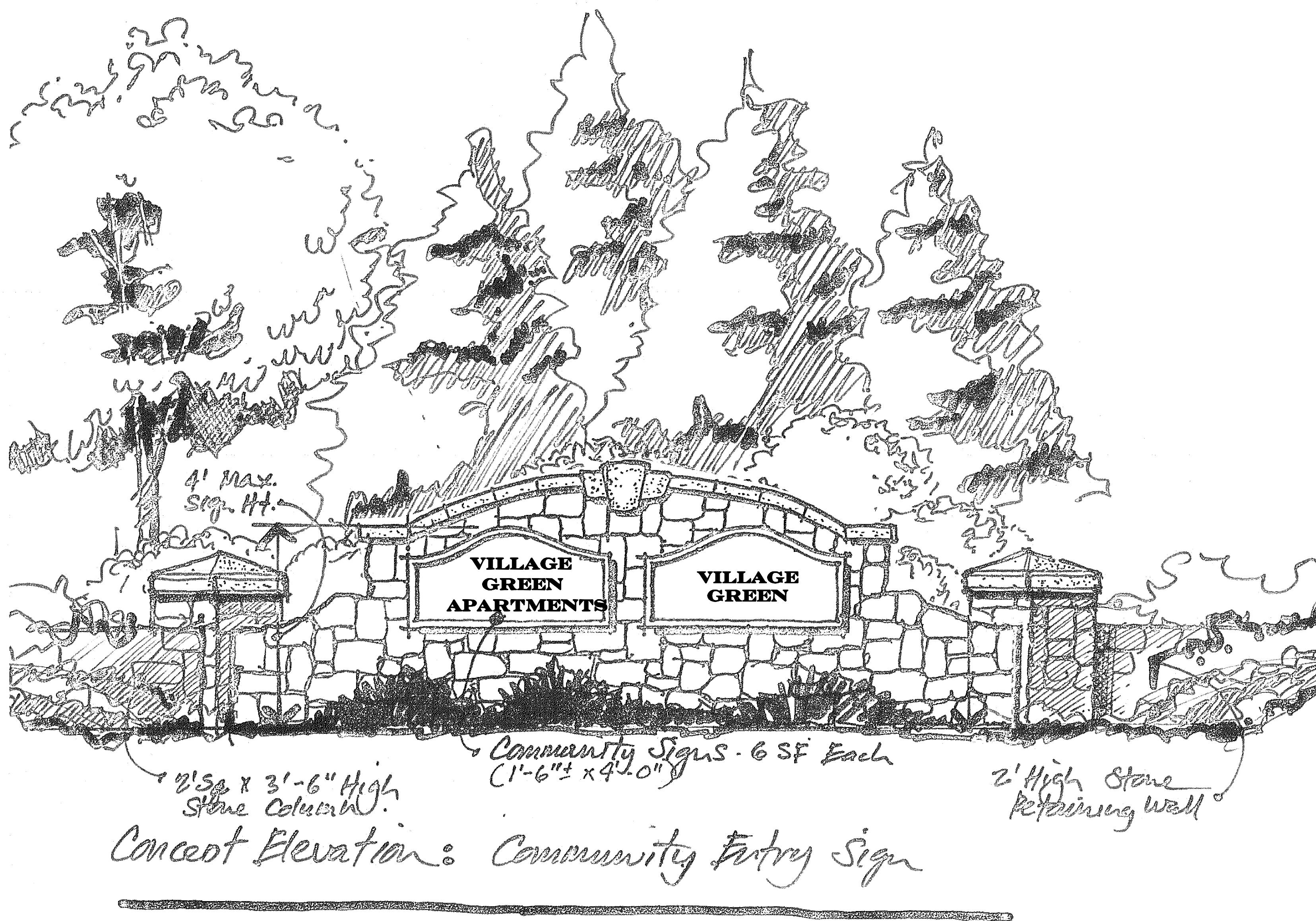
FIFTEEN GREAT
ROAD II LLC

SCALE: 1"=40' DATE: JULY 2011

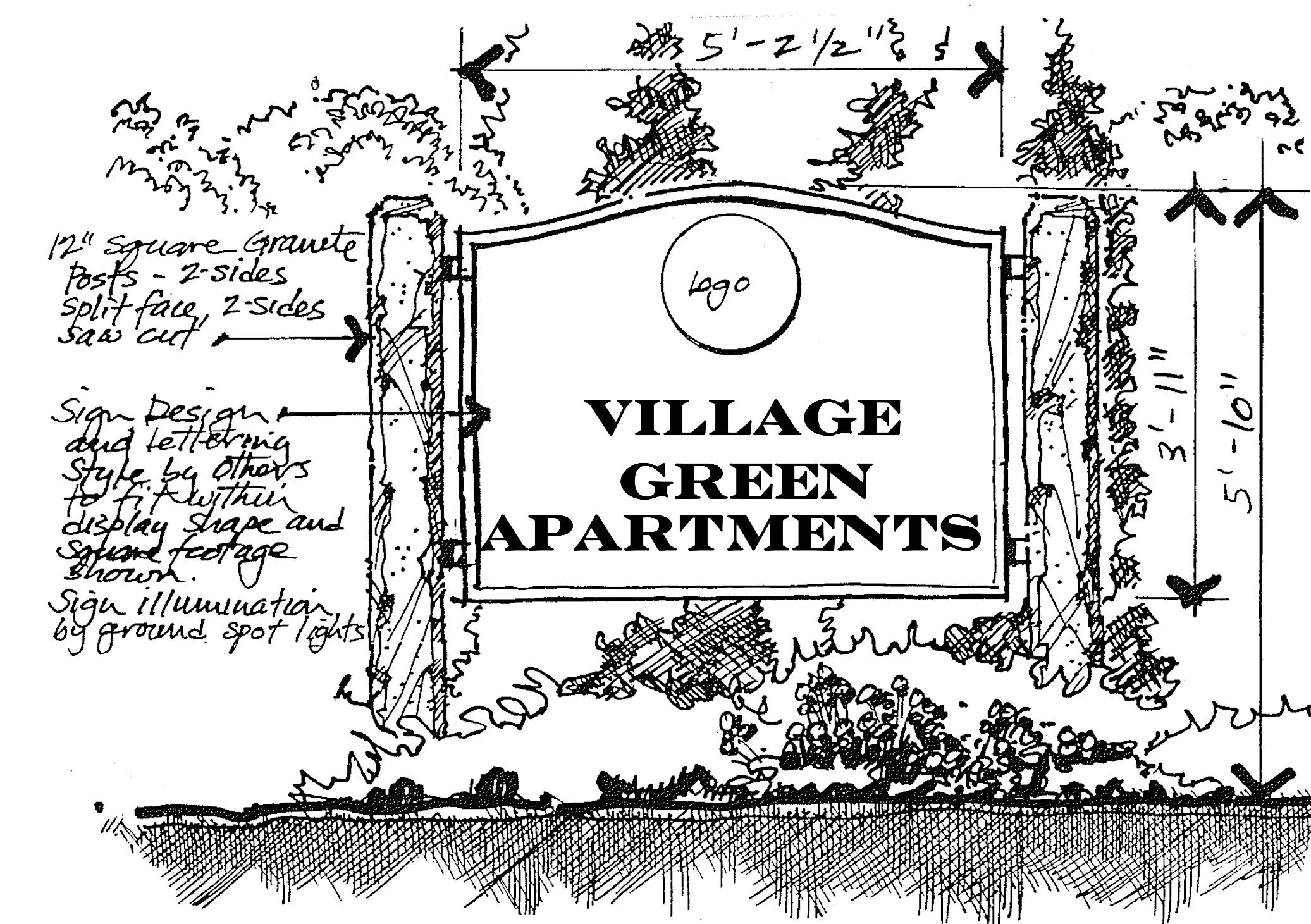
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EMAIL places@verizon.net

PROJECT No.: 11-6303 PLAN No. CP-6





Concept Elevation: Community Entry Sign



Entry Sign (C) Elevation (no scale)

**VILLAGE GREEN
APARTMENTS
SITE SIGN**

LOCATION: 15 GREAT ROAD
TOWN: LITTLETON, MASSACHUSETTS
PREPARED FOR:

FIFTEEN GREAT
ROAD II LLC

SCALE: 1"=100' DATE: JULY 2011



**PERMIT SET
NOT FOR CONSTRUCTION**

REVISIONS:
2-16-12 GENERAL REVISION