

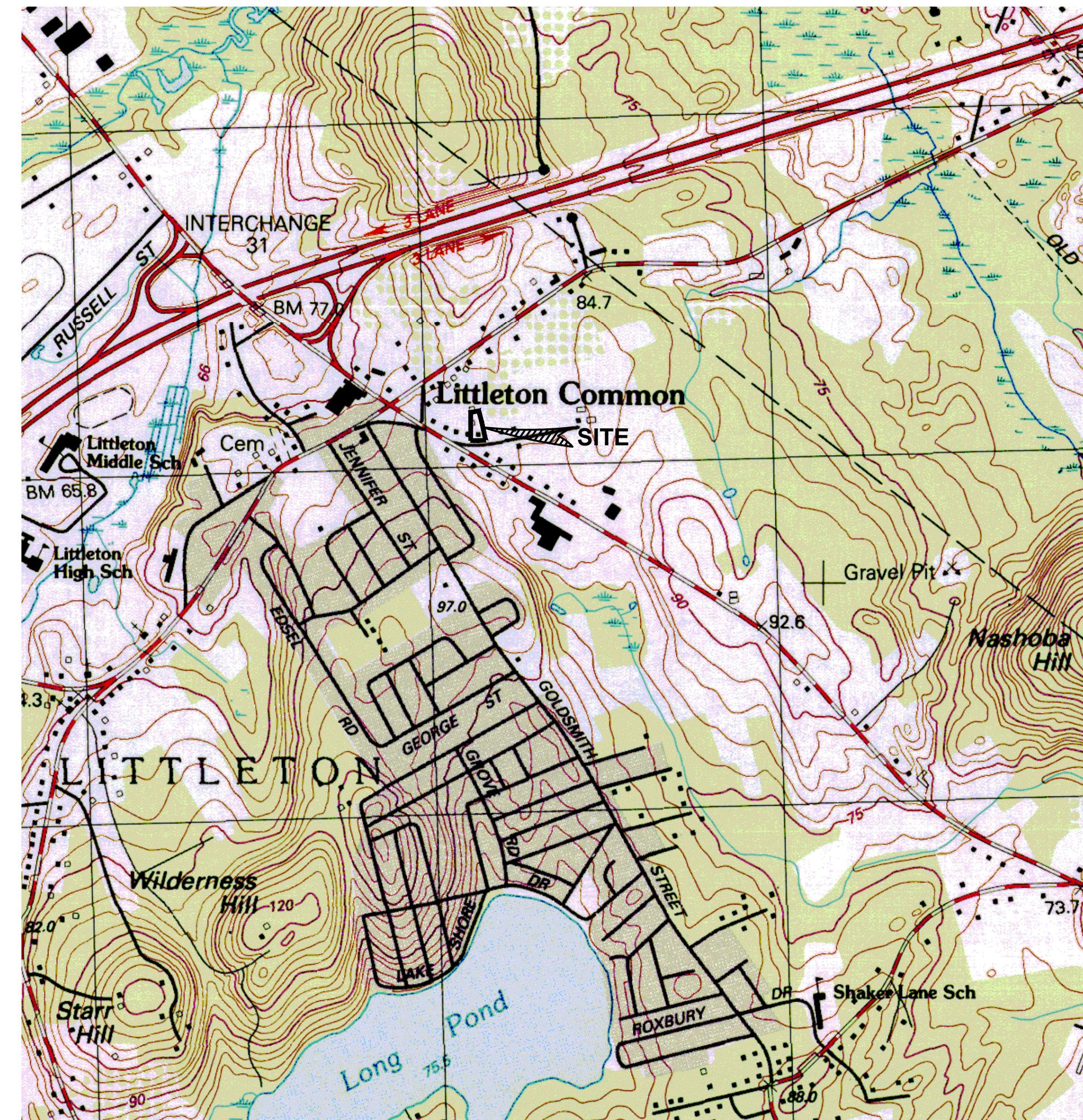
# SITE PLAN

## 12 ROBINSON ROAD LITTLETON, MA

### PLAN NOTES:

1. DEVIATION FROM AN APPROVED PLAN IS NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF APPLICABLE LOCAL BOARDS AND THIS OFFICE.
2. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ON THE GROUND SURVEY CONDUCTED BY LANDTECH CONSULTANTS, INC. IN MAY OF 2023.
3. BOUNDARY INFORMATION SHOWN HEREON IS THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED BY LANDTECH CONSULTANTS, INC. IN MAY OF 2021 BASED ON INFORMATION OBTAINED FROM THE PUBLIC RECORDS.
4. THE BEARINGS, DISTANCES AND COORDINATES ARE BASED ON AND SHOWN HEREON IN U.S. SURVEY FEET IN MA. STATE PLANE COORDINATE SYSTEM REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORS ADJUSTMENT (NA2011/GEOID 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN MAY OF 2023 UTILIZING THE MACORS RTK GPS NETWORK.
5. THE VERTICAL DATUM FOR THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CORS ADJUSTMENT (NA2011/GEOID 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN MAY OF 2023 UTILIZING THE MACORS RTK GPS NETWORK.
6. UTILITY INFORMATION SHOWN HEREON IS BASED ON RECORD INFORMATION AND FIELD OBSERVATIONS. A SUBSURFACE INVESTIGATION WAS NOT PERFORMED.
7. THE SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DEFINED IN FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 25017C0236F WITH AN EFFECTIVE DATE OF JULY 7, 2014.
6. THIS PARCEL IS LOCATED IN ZONING DISTRICT VC (VILLAGE COMMON), AND IS SUBJECT TO THE REQUIREMENTS OF THE CURRENT ZONING BY-LAWS.

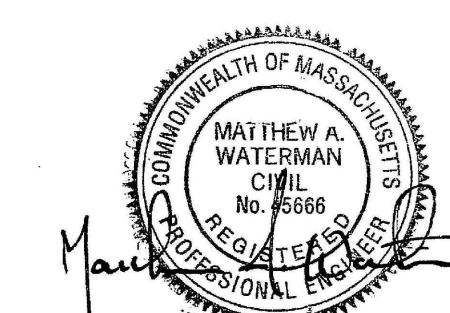
ZONING DISTRICT: VILLAGE COMMON (VC)  
 PRIMARY FRONT SETBACK: 10/20 FEET (MIN/MAX)  
 SECONDARY FRONT SETBACK: 10/20 FEET (MIN/MAX)  
 SIDE SETBACK: 10 FEET  
 REAR SETBACK: 10 FEET  
 PRIMARY PARKING SETBACK: 20 FEET  
 SECONDARY PARKING SETBACK: 20 FEET  
 LOT COVERAGE: 80% (MAX)  
 FAÇADE BUILDOUT: 60% (MIN)



### LOCUS MAP

SCALE: 1"=1,000'  
 0 1,000 2,000 3,000  
 SCALE IN FEET

ISSUE DATE: JULY 25, 2023



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### PLAN INDEX

Sheet Name	Sheet Number
1. TITLE SHEET	(C-0)
2. EXISTING CONDITIONS PLAN	(EX-1)
3. SITE PLAN	(C-1)
4. GRADING, DRAINAGE, & UTILITIES PLAN	(C-2)
5. DETAILS & SECTIONS	(D-1)
6. LANDSCAPE PLAN (BY OTHERS)	(L-1)
7. ARCHITECTURAL PLANS	(UNDER SEPARATE COVER)

### CONSULTANTS:

CIVIL ENGINEER  
 LANDTECH CONSULTANTS  
 515 GROTON ROAD  
 WESTFORD, MA 01886  
 978.692.6100

### RECORD OWNER

TOWN OF LITTLETON  
 PO BOX 1305  
 LITTLETON, MA 01460

### APPLICANT

JOE CATALDO  
 36 ROBINSON ROAD  
 LITTLETON, MA 01460

### ASSESSOR'S REFERENCES

TAX MAP U07, PARCEL 15, LOT 0

### DEED REFERENCES

DEED BOOK 71265, PAGE 451

### PLAN REFERENCES

1. M.S.D.R.D. PLAN 362 OF 1967.
2. M.S.D.R.D. PLAN 380 OF 1970.
3. M.S.D.R.D. PLAN 837 OF 1987.
4. M.S.D.R.D. PLAN 1331 OF 1999.

TOWN OF LITTLETON  
 PLANNING BOARD APPROVAL

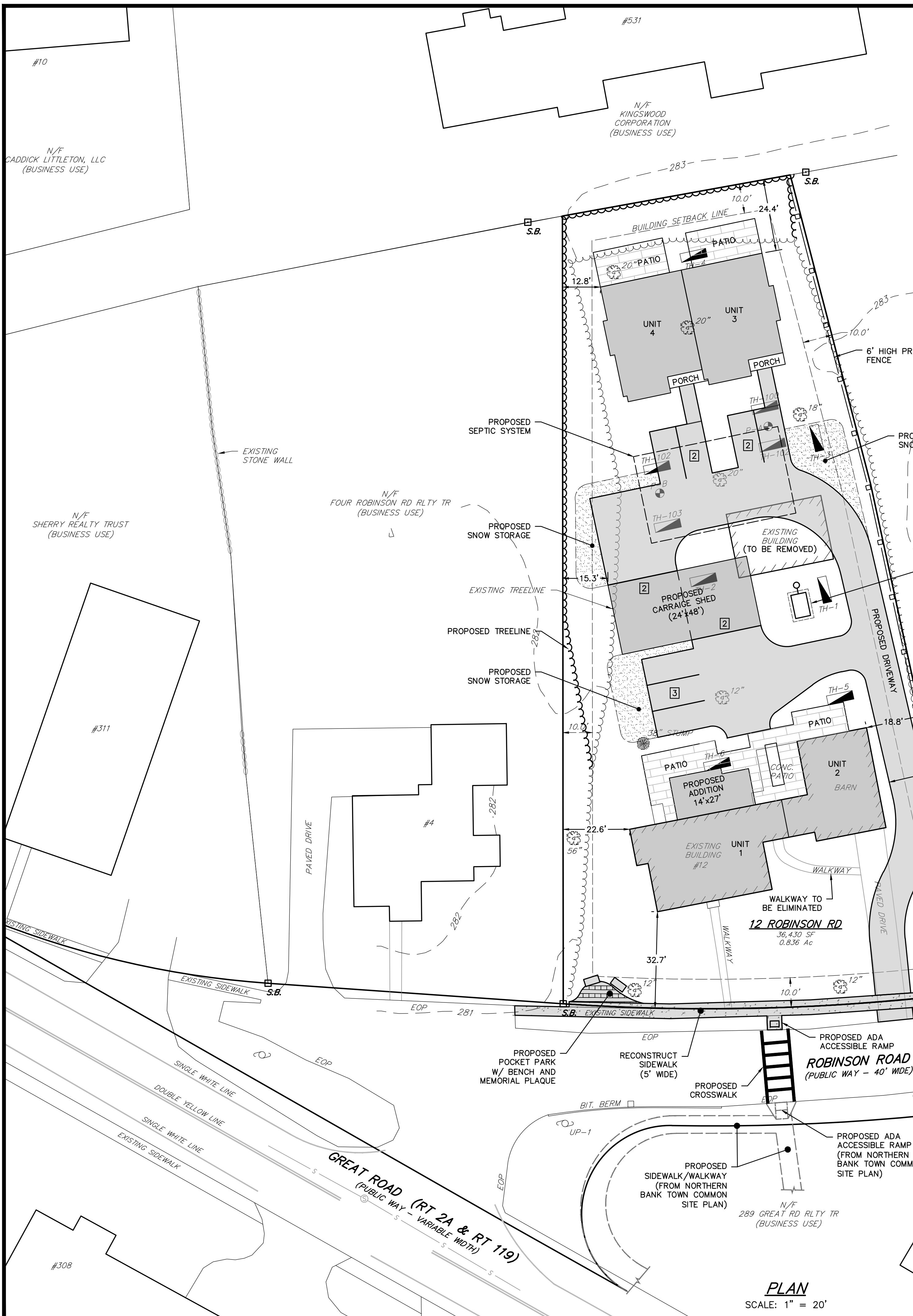
### CERTIFICATION

BUILDING LIES IN ZONE X, AREAS OUTSIDE THE 500-YEAR FLOOD PLAIN, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP, MAP No. 25017C0236F, EFFECTIVE DATE JULY 7, 2014.

  
 MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER  
 REGISTRATION No. 45666  
 (FOR LANDTECH CONSULTANTS, INC.)

DATE \_\_\_\_\_





### LEGEND

	BUILDING SETBACK LINE
	EROSION CONTROL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EDGE OF PAVEMENT
	BITUMINOUS CONCRETE CURBING
	TREELINE
	ETC
	UNDERGROUND ELECTRIC, TELEPHONE & CABLE
	GAS LINE
	STORM DRAIN
	WATER LINE
	TREES AND SHRUBS
	GAS VALVE
	HYDRANT
	WATER VALVE
	SIGN
	SEWER MANHOLE
	YARD LIGHT
	DEEP HOLE
	PERCOLATION TEST
	WALL MOUNTED LIGHT FIXTURE

### RECORD OWNER

TOWN OF LITTLETON  
PO BOX 1305  
LITTLETON, MA 01460

### ASSESSOR'S REFERENCE

TAX MAP U07, PARCEL 15, LOT 0

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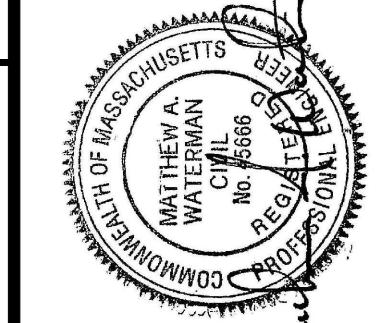
3. M.S.D.R.D. PLAN 837 OF 1987.

4. M.S.D.R.D. PLAN 1331 OF 1999.



LOCUS MAP

SCALE: 1" = 500'



Prepared for:  
JOSEPH CATALDO  
36 ROBINSON ROAD  
LITTLETON, MA 01460

Design M/S Draft M/S Check M/W

**SITE PLAN**  
12 ROBINSON ROAD  
LITTLETON, MA

Scale: 1" = 20'  
Scale: 1" = 20'

ZONING DISTRICT:  
VILLAGE COMMON (VC)  
PRIMARY FRONT SETBACK:  
10/20 FEET (MIN/MAX)  
SECONDARY FRONT SETBACK:  
10/20 FEET (MIN/MAX)  
SIDE SETBACK:  
10 FEET  
REAR SETBACK:  
10 FEET  
PRIMARY PARKING SETBACK:  
20 FEET  
SECONDARY PARKING SETBACK:  
20 FEET  
LOT COVERAGE:  
80% (MAX)  
FAÇADE BUILDOUT:  
60% (MIN)

**UNIT SUMMARY**  
ONE (1) EXISTING BUILDING - 2 UNITS  
ONE (1) DUPLEX BUILDING - 2 UNITS  
TOTAL = 4 UNITS

**LOT COVERAGE**  
EXISTING PROPOSED  
NUMBER LOCATION  
BUILDING 2,988 SF (9.7%) 6,081 SF (19.7%)  
PAVEMENT 830 SF (2.7%) 6,912 SF (22.5%)  
TOTAL IMPERVIOUS 3,818 SF (12.4%) 12,993 SF (42.2%)

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**ZONING SITE SUMMARY**

REQUIREMENTS		EXISTING	PROPOSED	EXCEPTION REQUESTED*
RESIDENCE A 'RA' ZONING DISTRICT				
BUILDING	FRONT	10/20 FT. (MIN/MAX) <sup>1</sup>	32.7 FT.	32.7 FT. NO
SETBACKS:	SIDE	10 FT.	18.8 FT.	12.8 FT. NO
	REAR	10 FT.	109.5 FT.	24.4 FT. NO
PRIMARY/SECONDARY PARKING SETBACK		35 FT.	20 FT.	92 FT. NO
LOT COVERAGE		80%	12%	42% NO
FACADE BUILDOUT		60% (MAX)	58%	58% NO
BUILDING HEIGHT		2.5 STORIES	2.5 STORIES	2.5 STORIES NO

1. MINIMUM AND MAXIMUM FRONT SETBACKS ARE INCREASED BY 10 FEET WHEN DEVELOPMENT OCCURS ON ANY LOT ABUTTING A SIDEWALK.

Job. No. 22-146 Dwg. No. 1179 Sheet C-1

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Landtech Consultants

## CONSTRUCTION SEQUENCE:

1. THE BUILDING LOCATION AND PROPERTY LINES ARE TO BE STAKED BY A LICENSED LAND SURVEYOR IN ALL AREAS WHERE PROPOSED CONSTRUCTION IS WITHIN 10' OF THE BOUNDARY.
2. INSTALL EROSION CONTROL BARRIER AS SHOWN. THE LOCATION OF THE EROSION CONTROL BARRIER SHALL BE STAKED BY AN ENGINEER OR SURVEYOR.
3. LINE ALL EXISTING CATCH BASINS WITH SILTSACKS. SILT SACKS ARE TO BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT, AND SHALL BE CLEANED AS NECESSARY. SILT SACKS ARE TO REMAIN IN PLACE UNTIL JUST PRIOR TO THE PLACEMENT OF THE FINISHED PAVEMENT COURSE.
4. MARK TREES TO BE REMOVED AND INSTALL TREE PROTECTION AT TREES TO REMAIN BEFORE CLEARING AND GRUBBING.
5. RAZE EXISTING BUILDINGS THAT ARE SHOWN ON THIS PLAN TO BE REMOVED AND CLEAR AND GRUB AREA WITHIN THE LIMIT OF WORK.
6. CLEAR AND GRUB AREA WITHIN THE LIMIT OF WORK AND INSTALL ANY STORMWATER BMP'S AND CONSTRUCTION PERIOD EROSION CONTROL DEVICES, AS NECESSARY.
7. INSTALL PROPOSED BUILDING FOUNDATIONS.
8. INSTALL UTILITIES, BACKFILL FOUNDATIONS, AND ROUGH GRADE LOT.
9. PLACE BINDER COURSE ON DRIVEWAY.
10. STABILIZE ALL DISTURBED AREAS WITH LOAM AND SEED AS SOON AS POSSIBLE.
11. AFTER SITE HAS STABILIZED AND UPON APPROVAL BY THE ENGINEERING DEPARTMENT REMOVE SILTATION FENCING.



## CONSTRUCTION NOTES:

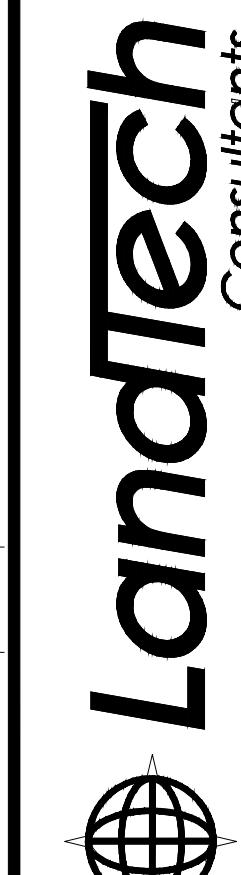
1. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF LOAM & SEED UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE ENGINEER. ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED WITHIN THE PLANS.
3. ANY DISTURBANCE TO EXISTING PUBLIC AND PRIVATE WAYS DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE TOWN OF WESTFORD HIGHWAY DEPARTMENT.
4. LOCATION AND SIZE OF EXISTING UTILITIES IS APPROXIMATE ONLY. CONTRACTOR MUST VERIFY PROPOSED CONNECTIONS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. DIG SAFE SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION (1-888-344-7233).
5. FINAL LOCATION, SIZE, AND DEPTH OF PRIVATE UTILITIES ARE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANY.
6. UNSUITABLE EXISTING SOILS/FILL, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED STORMWATER SYSTEMS. REMOVE ALL ORGANICS.
7. ANY REPLACEMENT SOIL REQUIRED AT STORMWATER BMP'S DUE TO THE REMOVAL OF UNSUITABLE FILL MATERIALS SHALL BE GRANULAR FILL FREE OF ANY ORGANIC MATERIAL WITH NO STONES LARGER THAN SIX INCHES, MEETING MASSDOT M1.03.0 TYPE A GRAVEL BORROW SPECIFICATIONS. GRANULAR MATERIALS SHALL NOT BE LUMPY OR FROZEN, AND FREE OF ANY DELETERIOUS MATERIAL. GRANULAR FILL MATERIAL SHALL BE UNIFORMLY DISTRIBUTED AND THOROUGHLY COMPACTED PRIOR TO THE INSTALLATION OF ANY BMP COMPONENTS.
8. ONLY CLEAN FILL SHALL BE USED FOR THE PROJECT. FILL SHALL BE CLEAR OF TRASH, DEBRIS, ASPHALT, BRICK, CONCRETE, METAL, WOOD OR OTHER RECYCLED CONSTRUCTION MATERIALS.
9. DRY WELLS ARE TO BE PROTECTED FROM SILT DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, THE SYSTEM IS TO BE CLEANED OF ANY SILT ACCUMULATION.

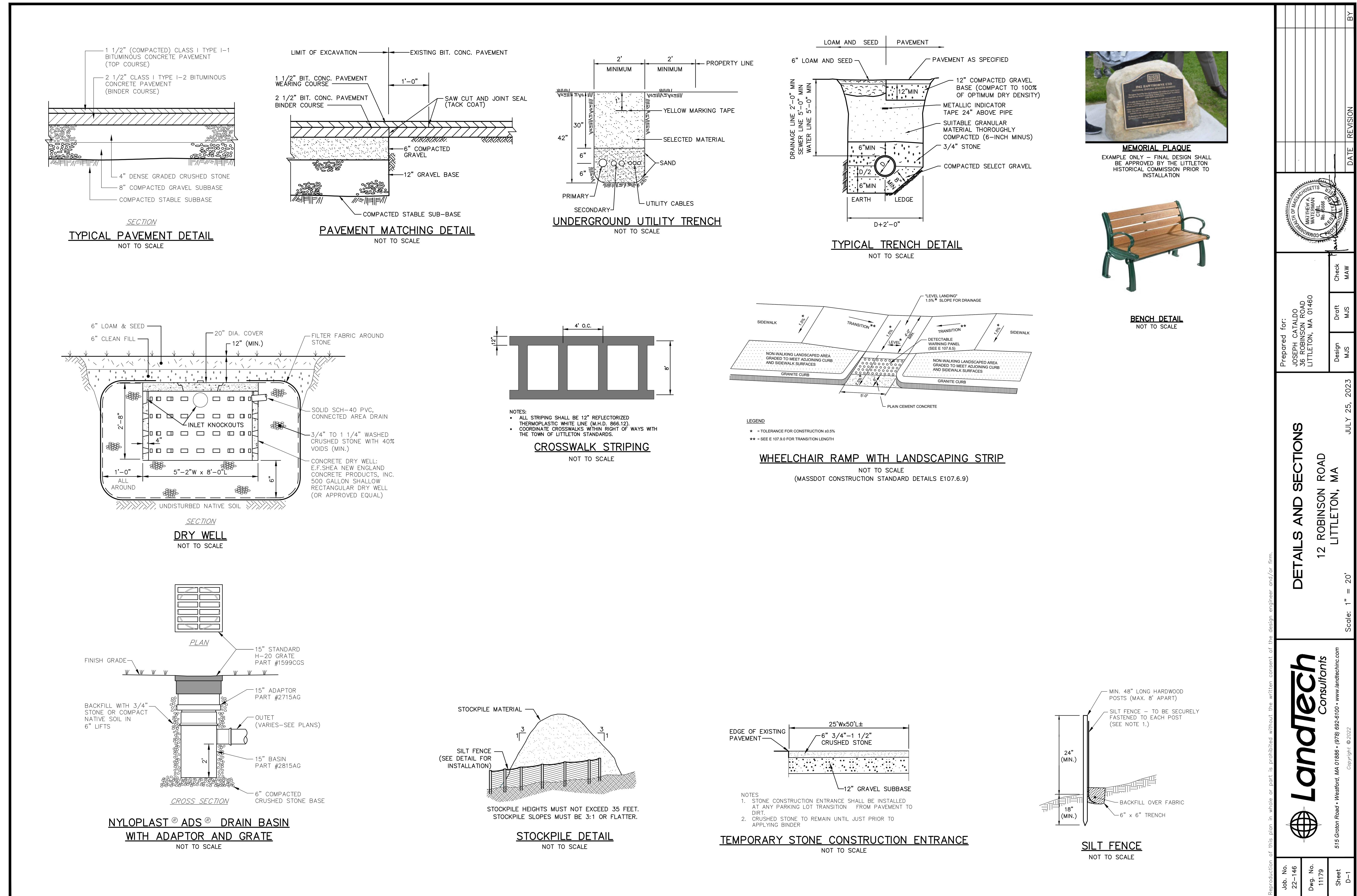
## UTILITY NOTES:

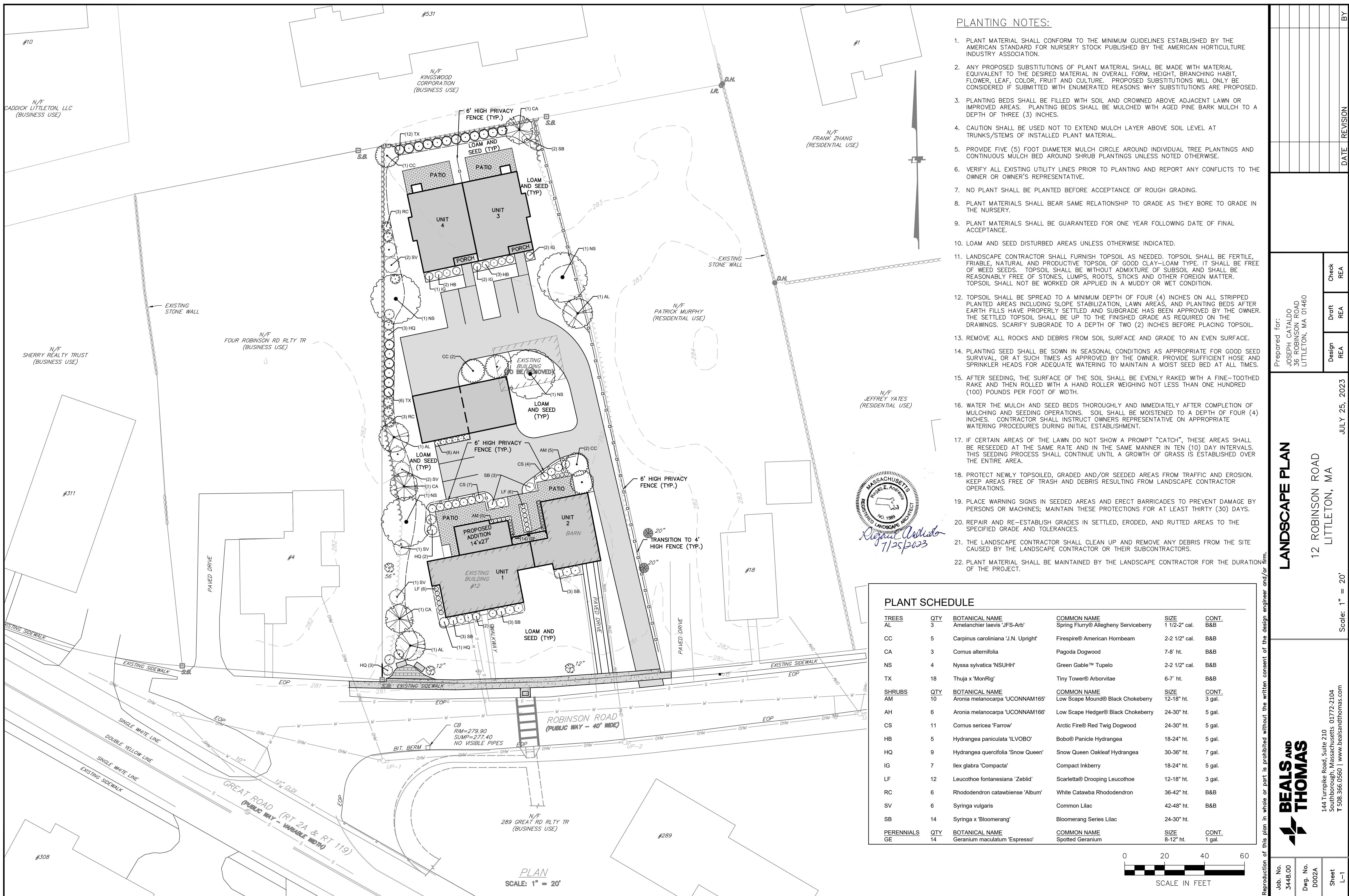
1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS THROUGHOUT THE PROJECT AND PROVIDING THE OWNER WITH A SET OF THE FINAL RECORD DRAWINGS WHEN THE PROJECT IS COMPLETE.
2. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE LITTLETON HIGHWAY DEPARTMENT AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY ROADWORK OR MUNICIPAL CONSTRUCTION.
4. THIS PROJECT IS SUBJECT TO ALL TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION, LOCAL UTILITY COMPANIES AND MUNICIPAL OFFICIALS. THE CONTRACTOR SHALL REVIEW ALL RELEVANT FEDERAL, STATE AND MUNICIPAL PERMITS ASSOCIATED WITH THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY THAT ALL RELEVANT REQUIREMENTS REGARDING CONSTRUCTION, TESTING, AND REPORTING OF THE PERMITS HAVE BEEN MET AND THE PROJECT HAS BEEN CONSTRUCTED IN COMPLIANCE WITH THESE PORTIONS OF THE PERMITS.
5. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
6. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
7. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
8. THE CONSTRUCTION SITE SHALL BE SECURED IN A MANNER SO AS TO PREVENT INJURY OR PROPERTY DAMAGE TO THE RESIDENTS OF THE TOWN.
9. COORDINATE WATER CONNECTION WITH LITTLETON WATER DEPARTMENT.
10. COORDINATE GAS CONNECTION WITH RESPECTIVE UTILITY COMPANY.
11. COORDINATE ELECTRIC CONNECTION WITH RESPECTIVE UTILITY COMPANY.

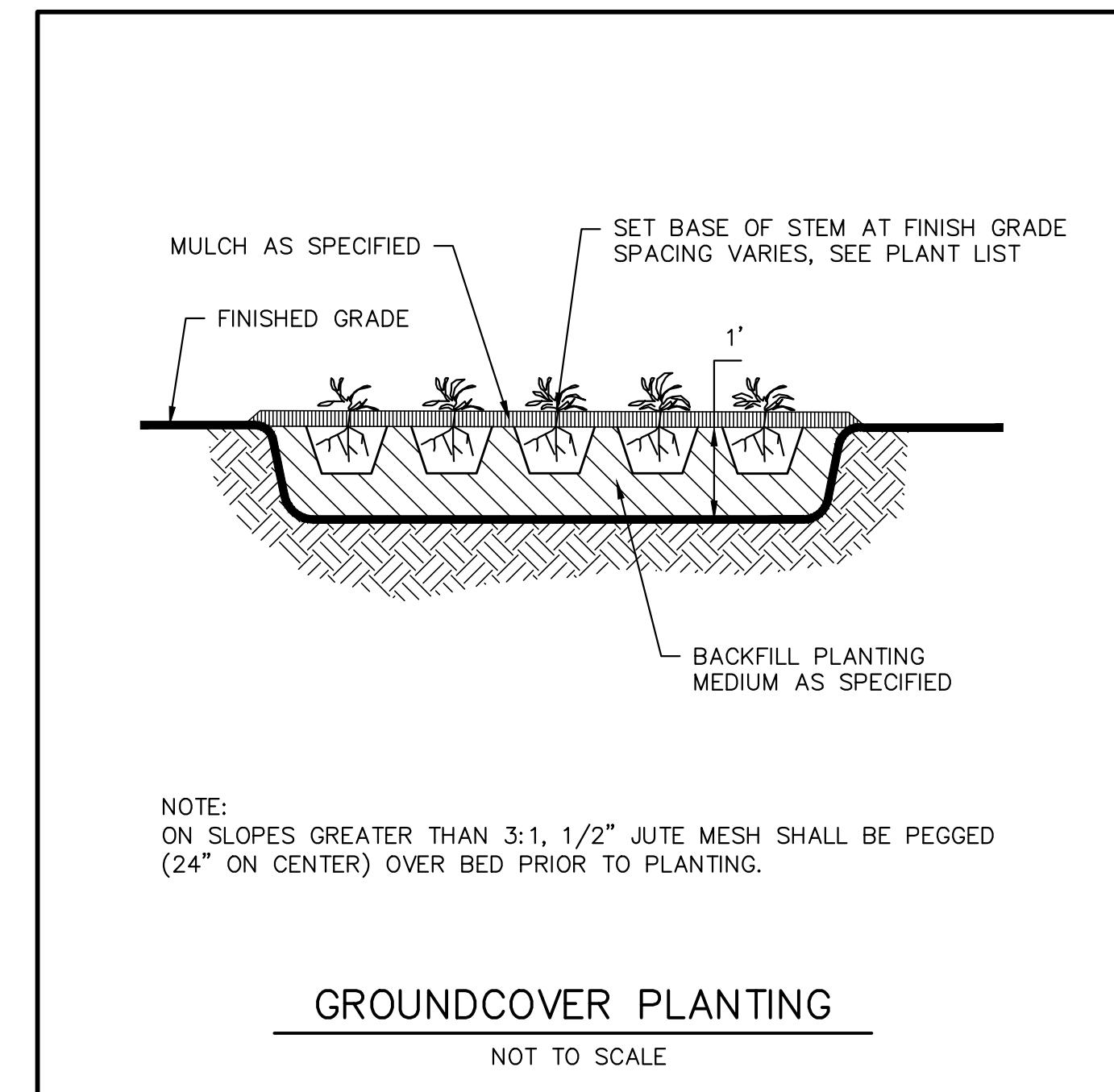
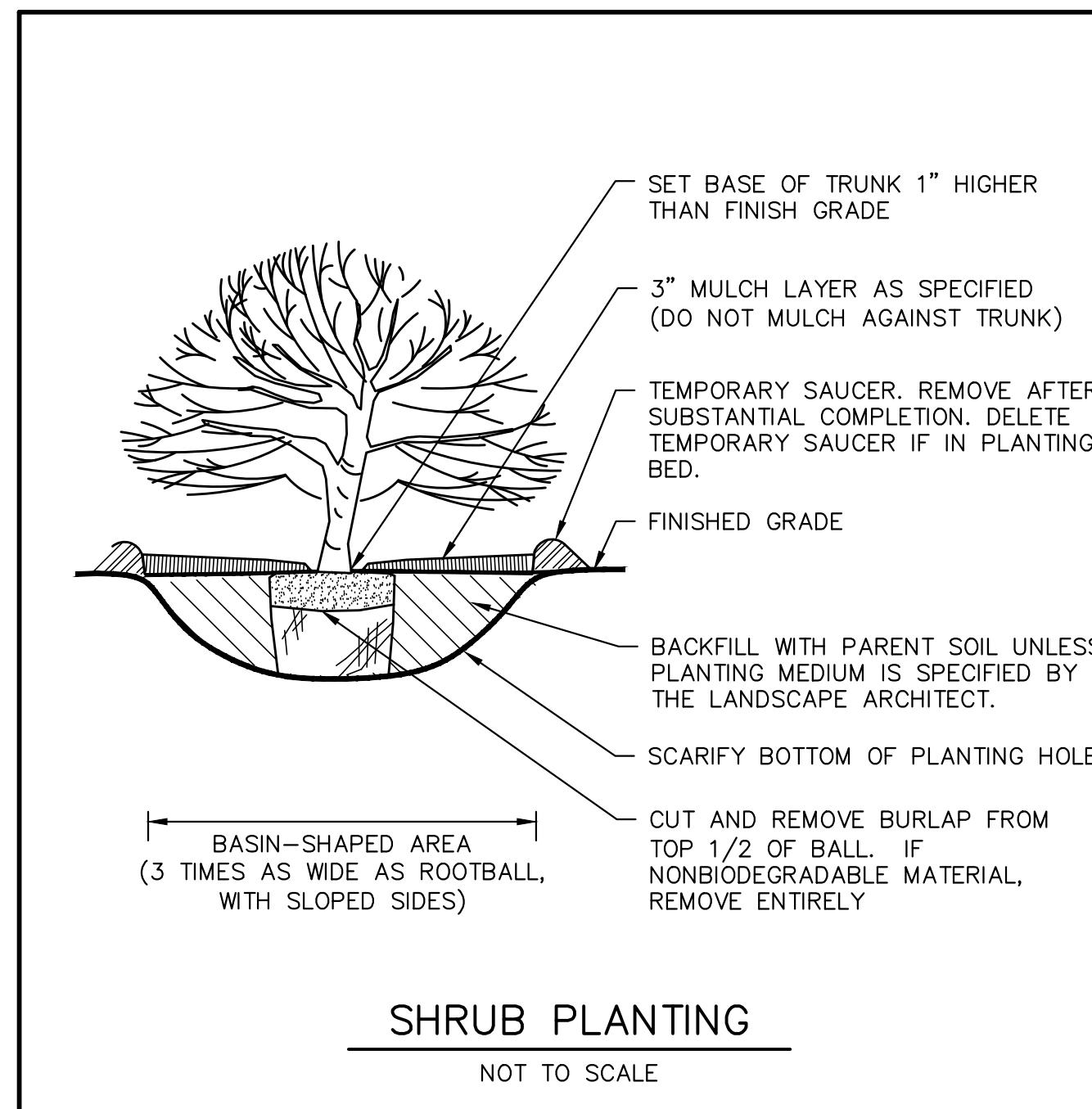
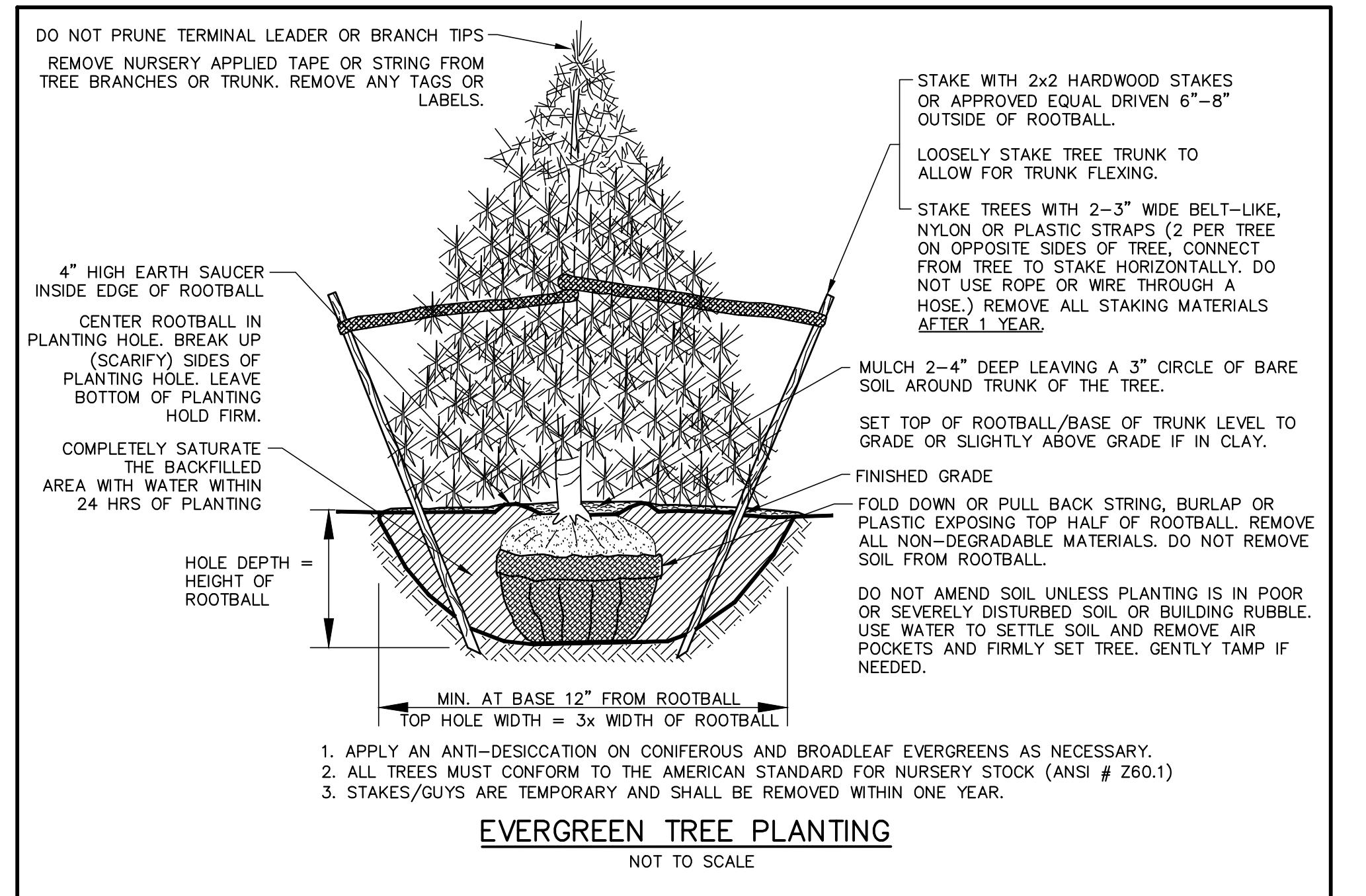
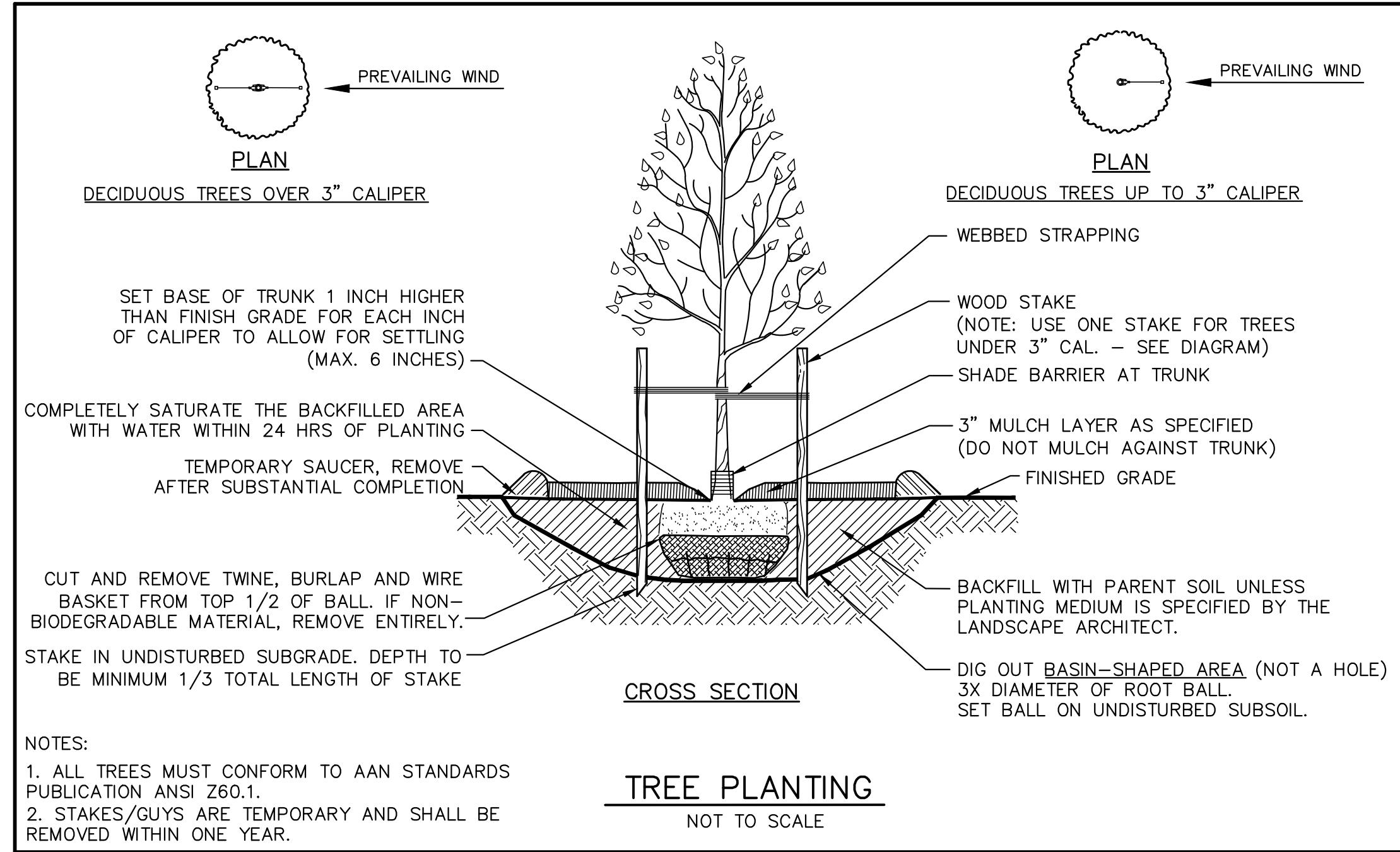
## DUST CONTROL

1. ADJACENT PAVED AREAS AND ROADS USED FOR CONSTRUCTION TRAFFIC SHALL BE MAINTAINED FREE OF TRACKED SOIL OR FILL MATERIALS. ON-SITE PAVED AREAS, DRIVEWAYS, SIDEWALKS, AND STREETS SHALL BE CLEANED AS NECESSARY BY WET SWEEPING AND/OR WASHING. ADJACENT PAVED AREAS AND ROADS SHALL BE LEFT CLEAN AT THE END OF EACH WORK DAY.
2. EXPOSED EXCAVATIONS, DISTURBED GROUND SURFACES, AND UNPAVED TRAFFIC AREAS SHALL BE WET DOWN AS NECESSARY TO MINIMIZE DUST.
3. DURING NON-WORKING HOURS, THE SITE SHALL BE LEFT IN A CONDITION THAT WILL MINIMIZE DUST FROM BEING GENERATED. PROVIDE TEMPORARY COVER AND DAILY MAINTENANCE FOR SOIL OR FILL STOCKPILES; WET DOWN ACTIVE SURFACES AS NECESSARY.
4. A TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ACTIVE SITE ENTRANCE/EGRESS LOCATIONS TO KEEP ADJACENT PAVED AREAS CLEAN.
5. CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED USING METHODS THAT MINIMIZE DUST GENERATION.
6. PHYSICAL CHEMICAL STABILIZATION SHALL BE APPLIED TO CONTROL DUST ON UNPAVED ROADS IF NECESSARY.
7. VISIBLE SPEED LIMIT SIGNS SHALL BE POSTED AT THE CONSTRUCTION SITE ENTRANCES. NO VEHICLE SHALL EXCEED 10 MILES PER HOUR WITHIN THE CONSTRUCTION SITE.
8. NO CONSTRUCTION VEHICLES SHALL BE ALLOWED TO ENTER THE CONSTRUCTION SITE EXCEPT THROUGH THE STABILIZED CONSTRUCTION ENTRANCE.









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## LANDSCAPE DETAILS

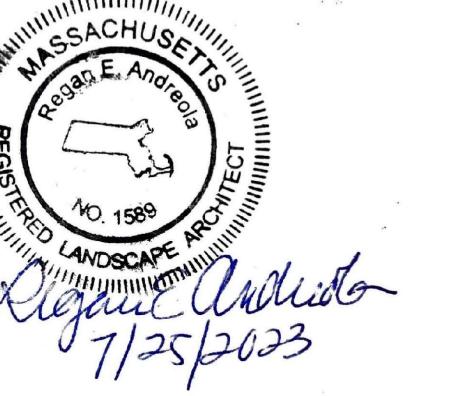
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JOSEPH CATALDO  
36 ROBINSON ROAD  
LITTLETON, MA 01460

12 ROBINSON ROAD  
LITTLETON, MA

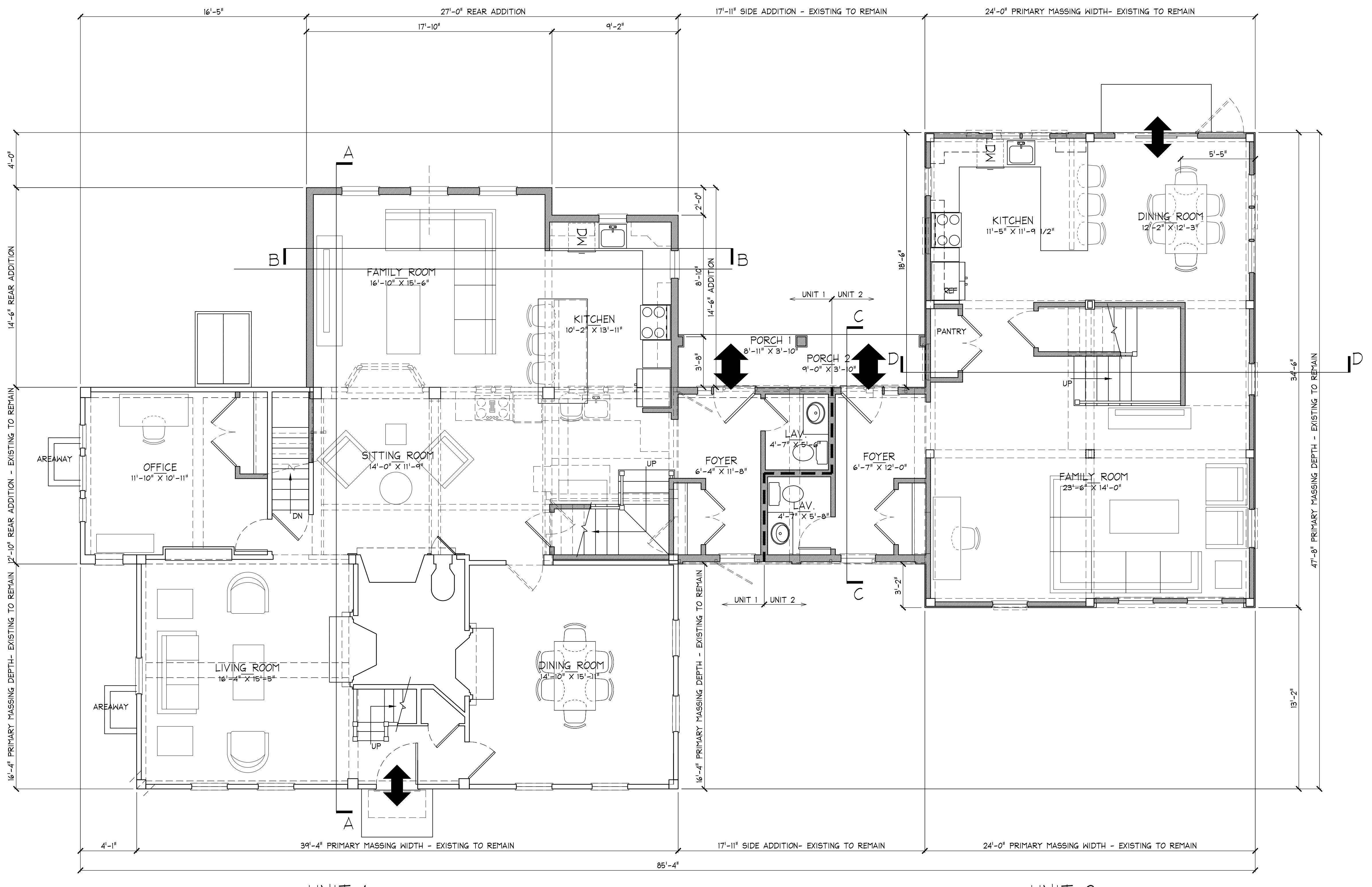
JULY 25, 2023

Scale: 1" = 20'  
NOT TO SCALE

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Dwg. No. D002A  
Sheet L-2



DATE / REVISION



UNIT 1

FIRST FLOOR: 1,683 S.F. UNIT TOTAL: 2,540 S.F.

BUILDING TOTAL: 2,628 S.F. 1ST FLR + 1,454 S.F. 2ND FLR = TOTAL: 4,082 S.F.

R O B I N S O N R O A D

HOUSE-BARN FIRST FLOOR PLAN

1/4" = 1'-0" FIRST FLOOR: 1,683 S.F. + 942 S.F. TOTAL: 2,628 S.F.

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

UNIT 2

FIRST FLOOR: 942 S.F. UNIT TOTAL: 1,539 S.F.

12 Robinson Road, House-Barn  
Littleton, MA July 26, 2023

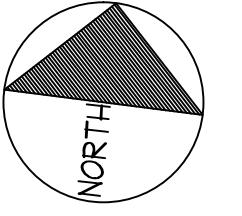


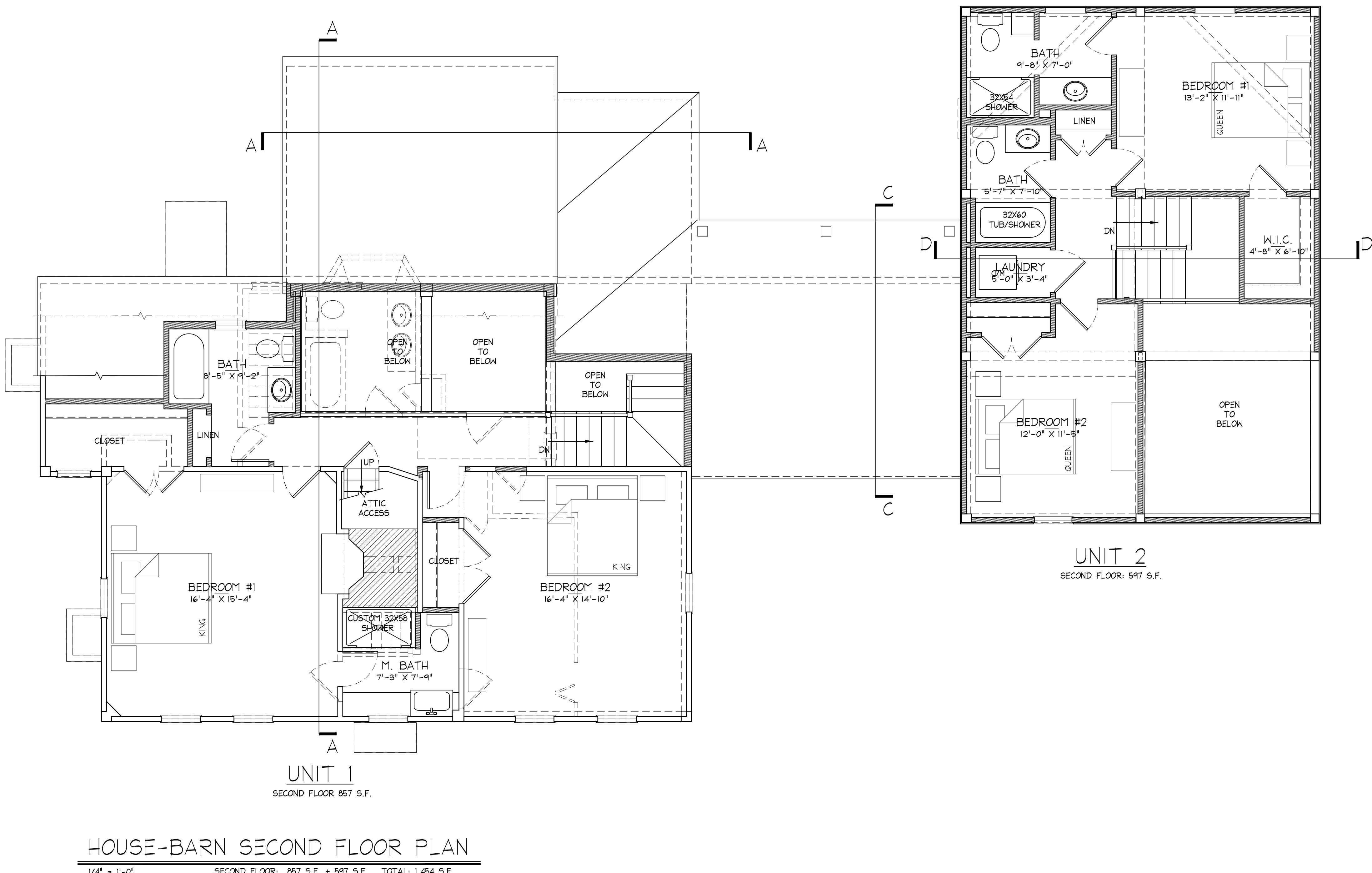
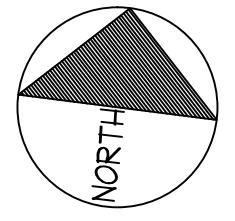
The MZO GROUP  
DESIGNERS ■ ARCHITECTS ■ PLANNERS  
IN THE *Miquelle* TRADITION

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House - Barn 1 of 5





# HOUSE-BARN SECOND FLOOR PLAN





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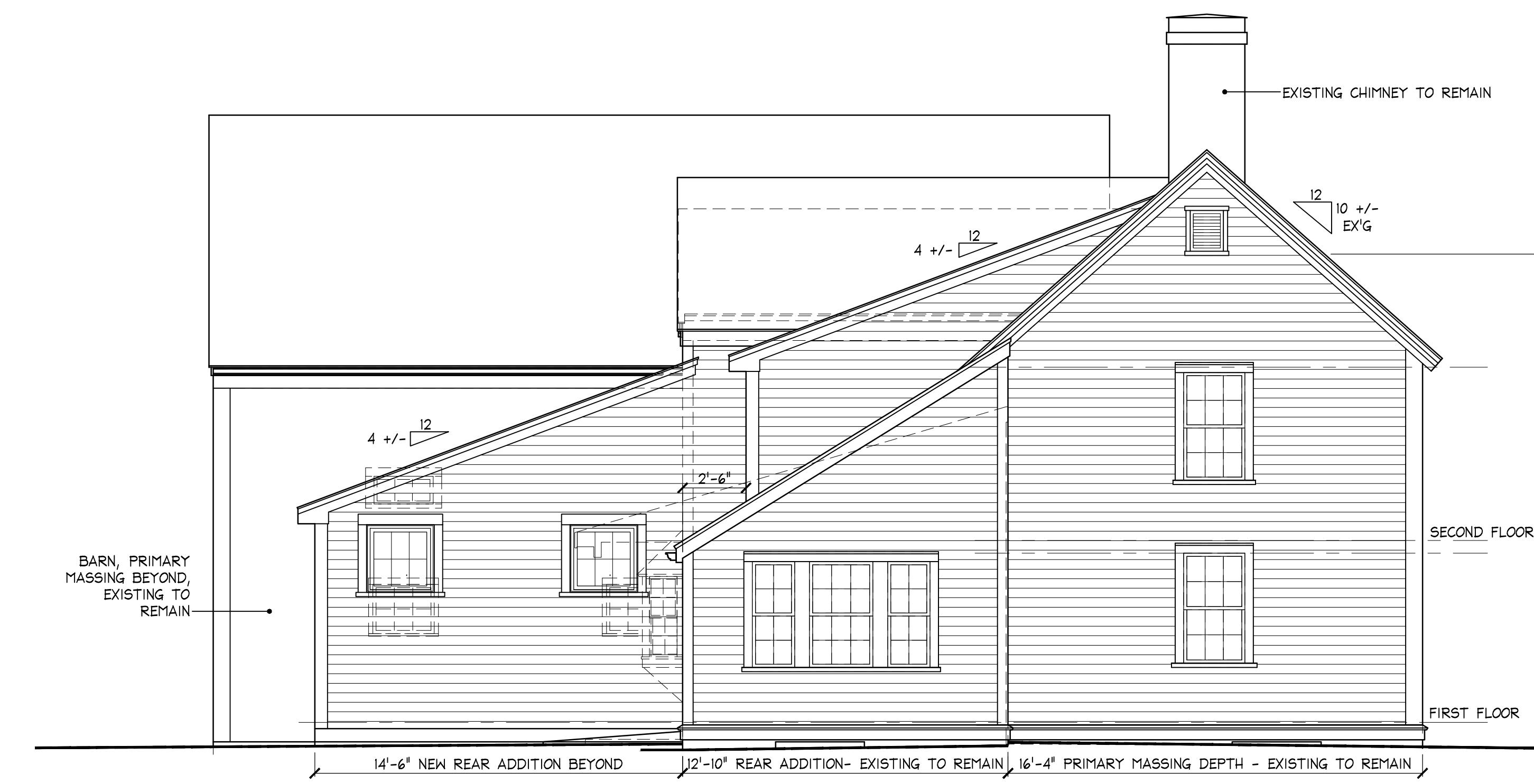
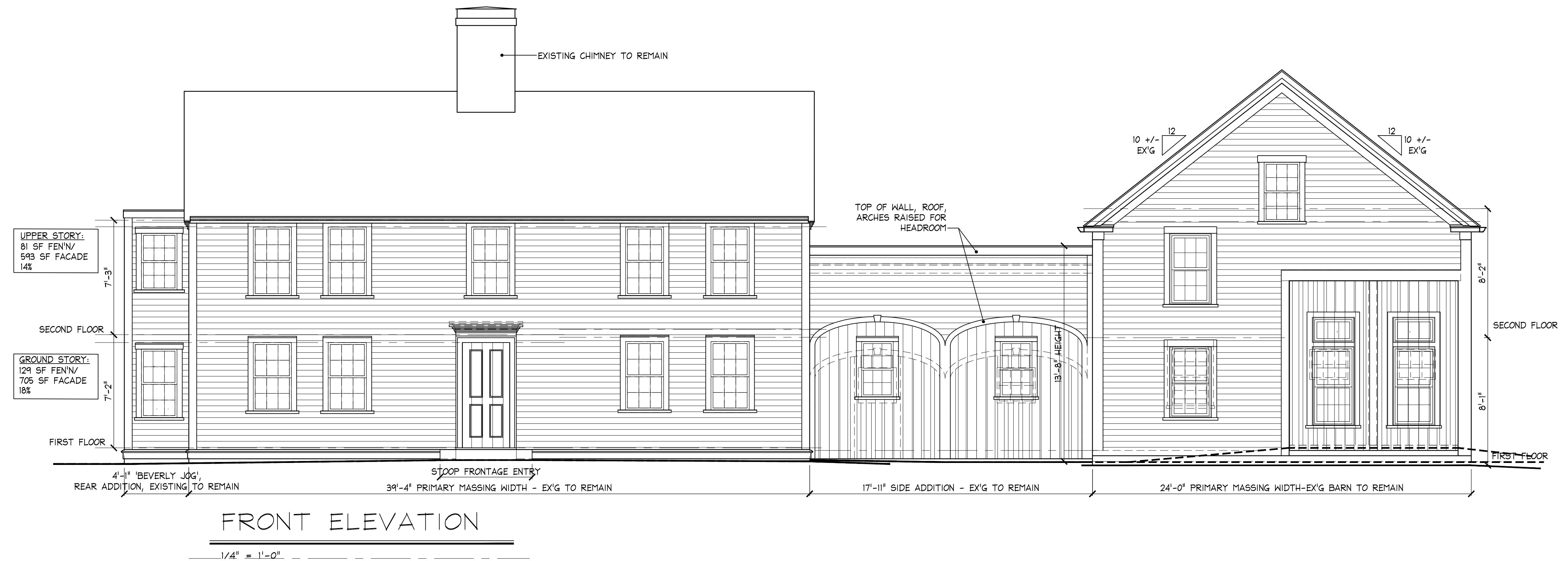
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# 12 Robinson Road, House-Barn

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# House - Barn 2 of 5



LEFT SIDE ELEVATION

1/4" = 1'-0"

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



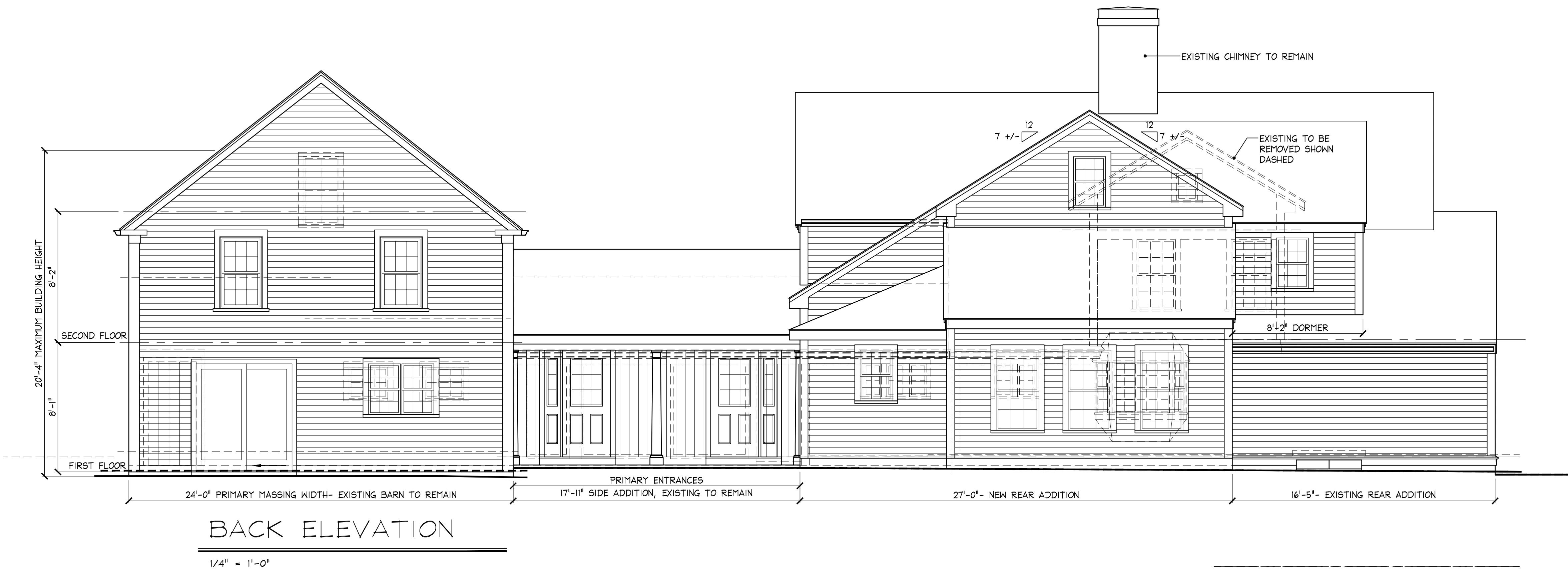
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Littleton, MA July 26, 2023

House-Barn 3 of 5



0 2' 4' 8'

SCALE: 1/4" = 1'-0"



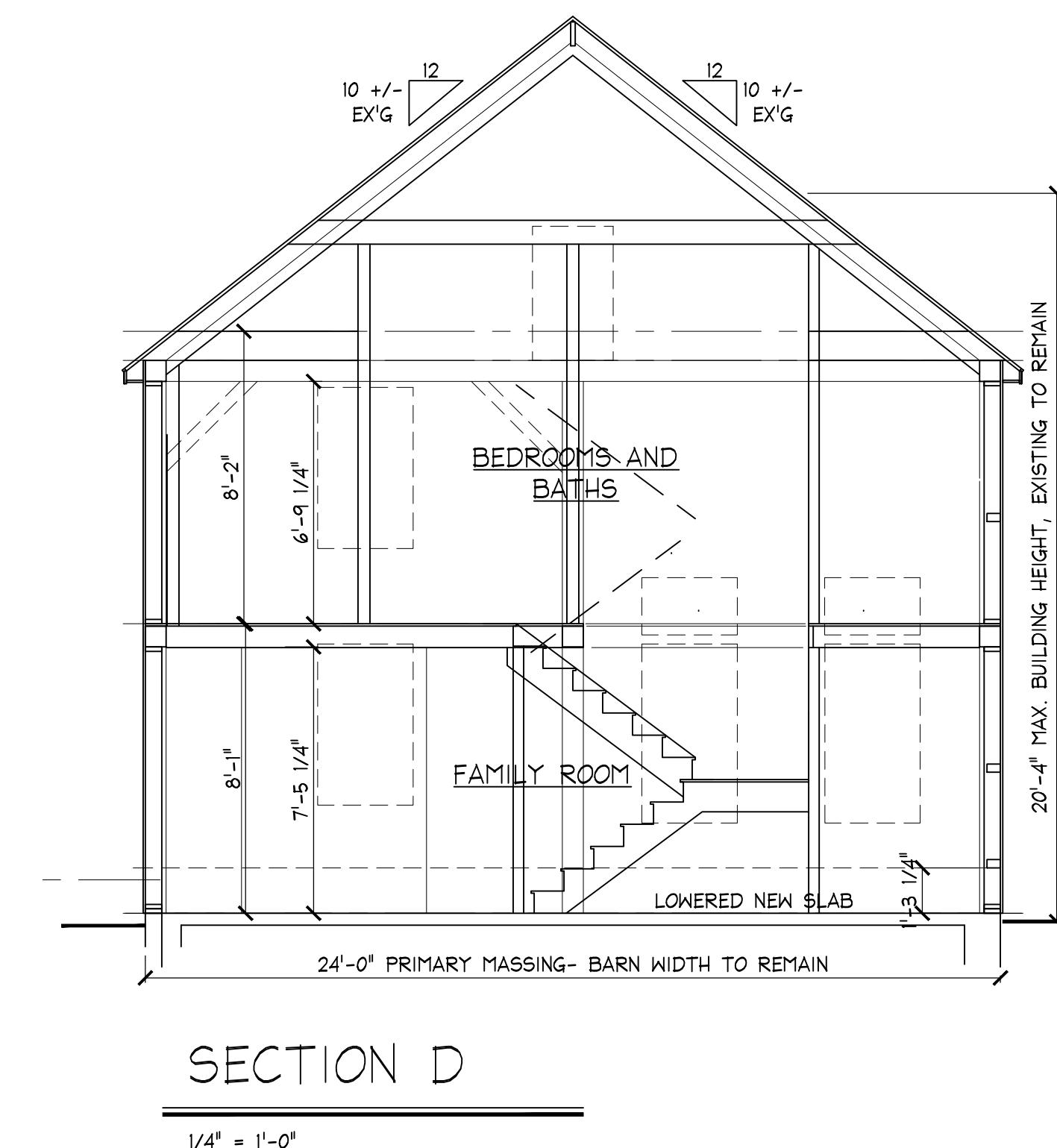
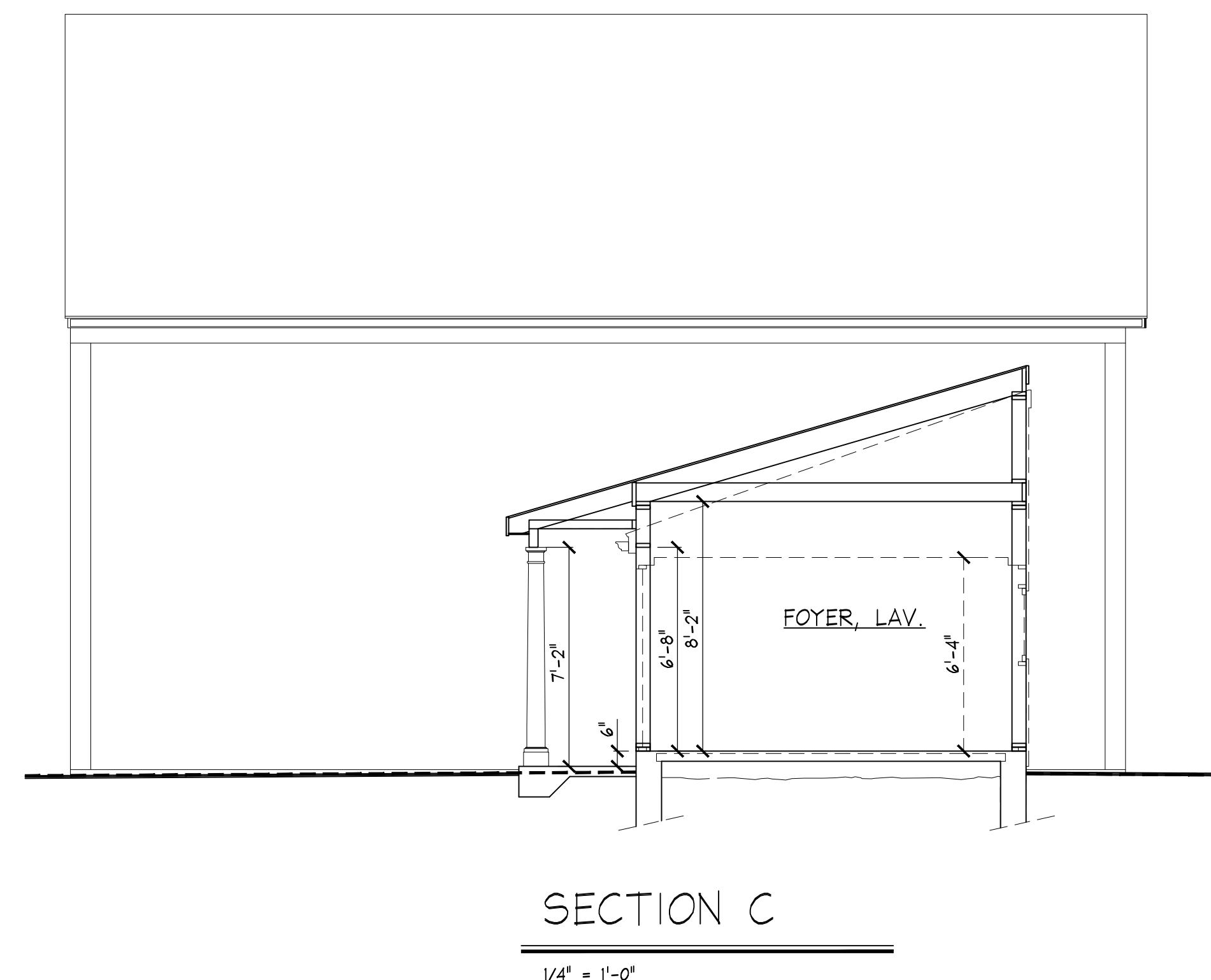
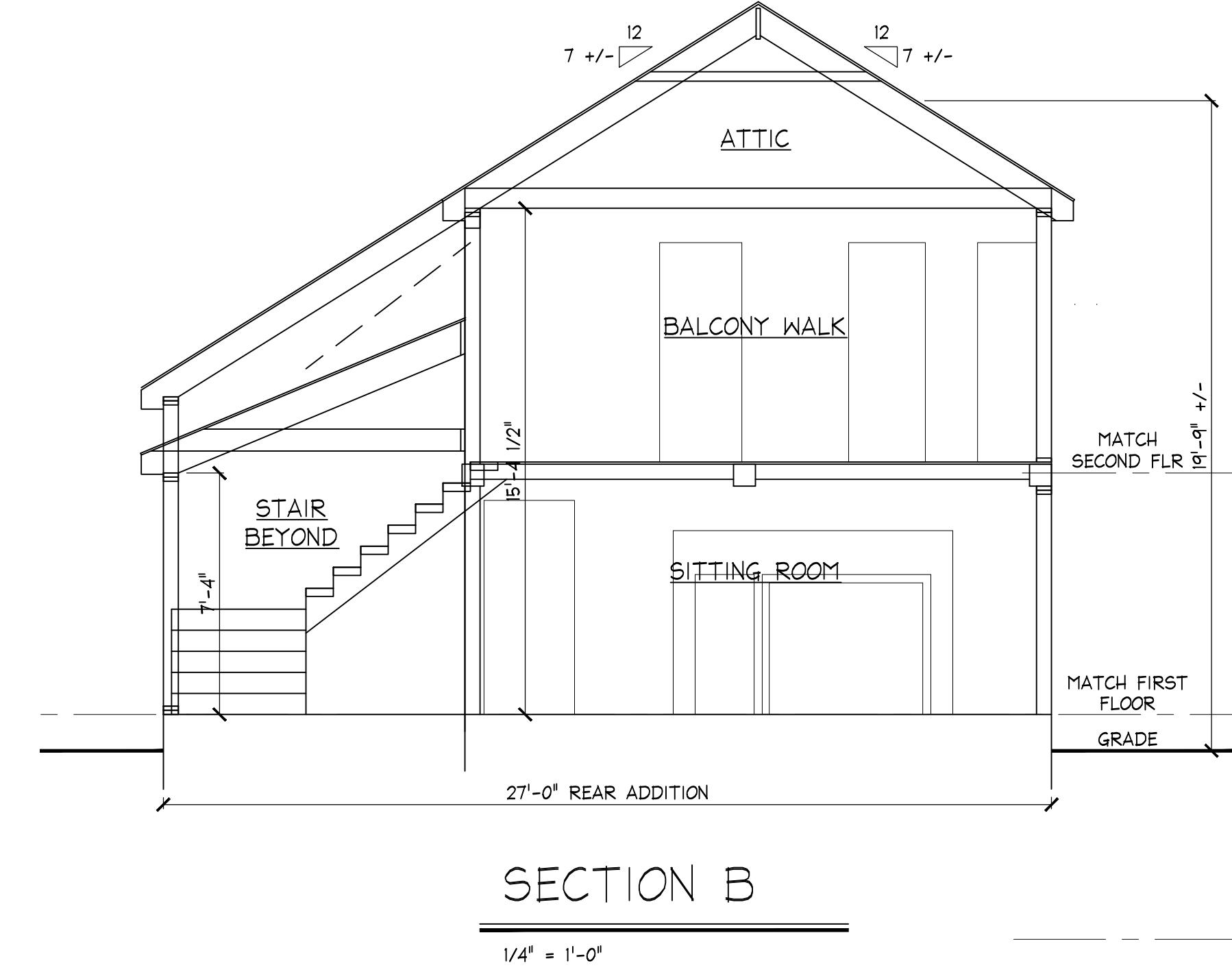
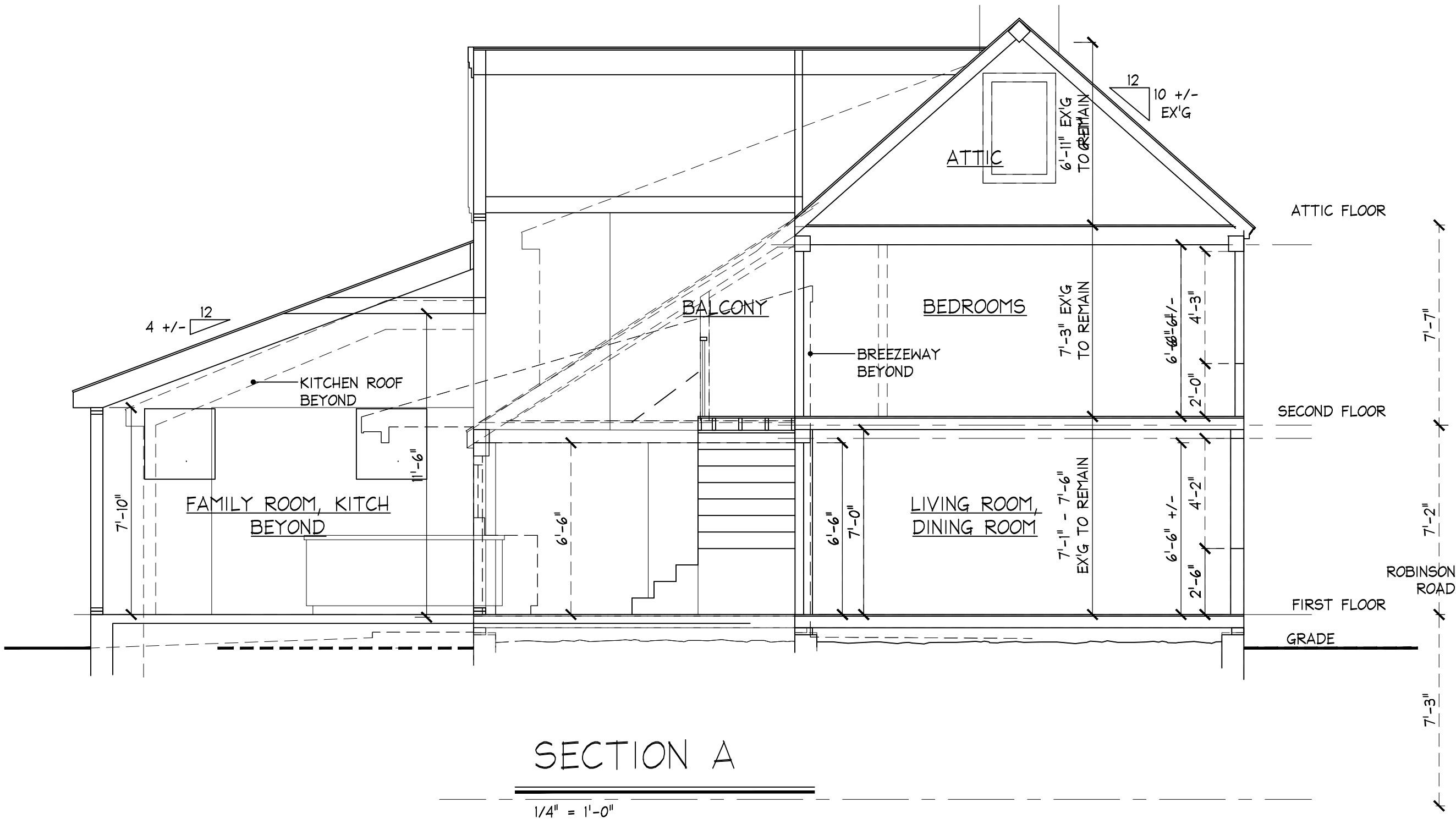
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12 Robinson Road, House-Barn  
Littleton, MA July 26, 2023

House-Barn 4 of 5



0 2' 4' 8'

SCALE: 1/4" = 1'-0"



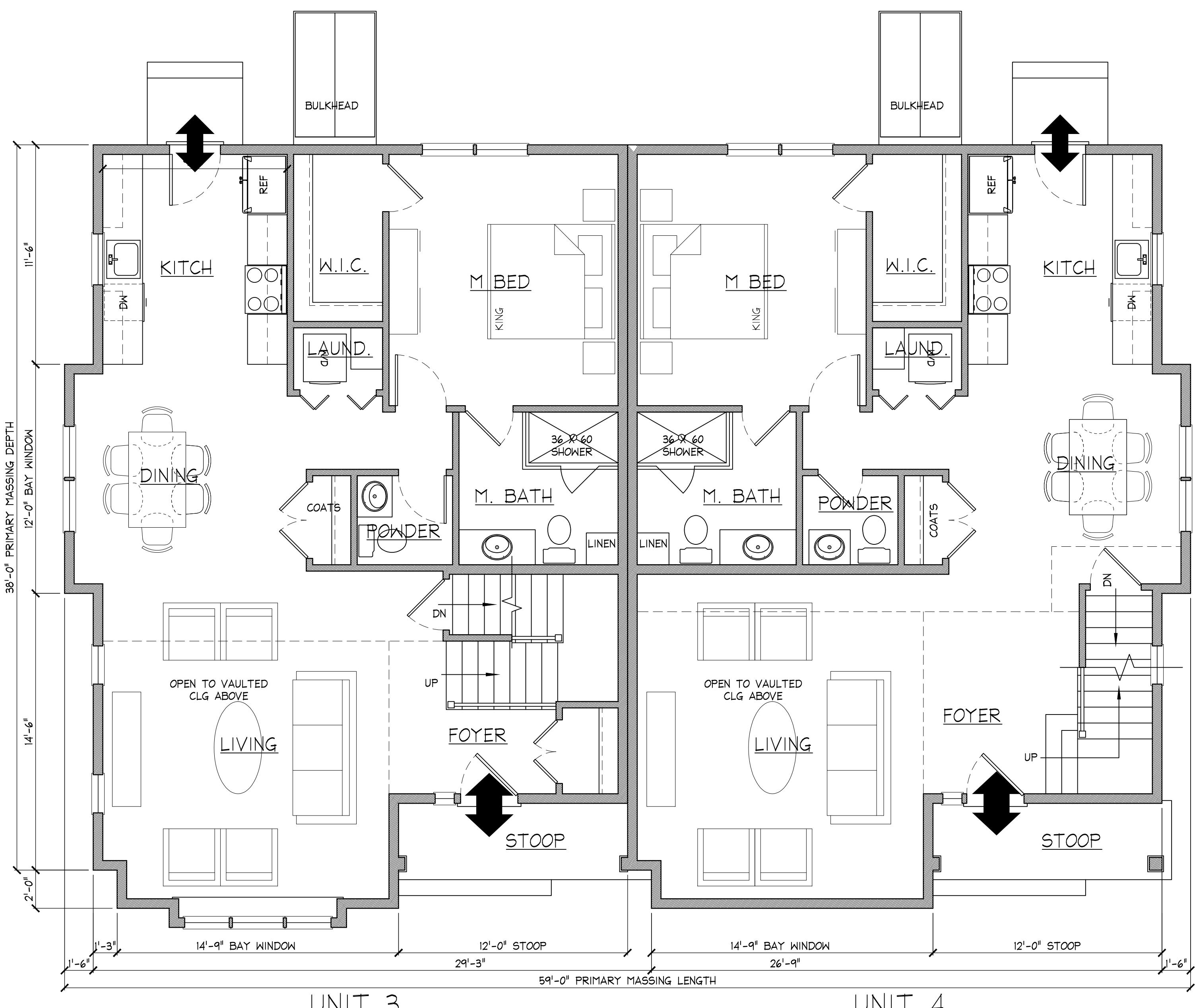
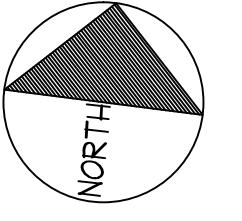
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12 Robinson Road, House-Barn  
Littleton, MA July 26, 2023

House-Barn 5 of 5



## DUPLEX FIRST FLOOR PLAN

FIRST FLOOR: 1,070 S.F. UNIT TOTAL: 1,623 S.

第十一章 项目管理与组织行为学

## UNIT 4

UNIT 4

BUILDING TOTAL: 2,140 S.F. 1ST FLR + 1,084 S.F. 2ND FLR = TOTAL: 3,224 S.F.

SCALE:  $1/4"$  =  $1'-0"$





# The MZO GROUP

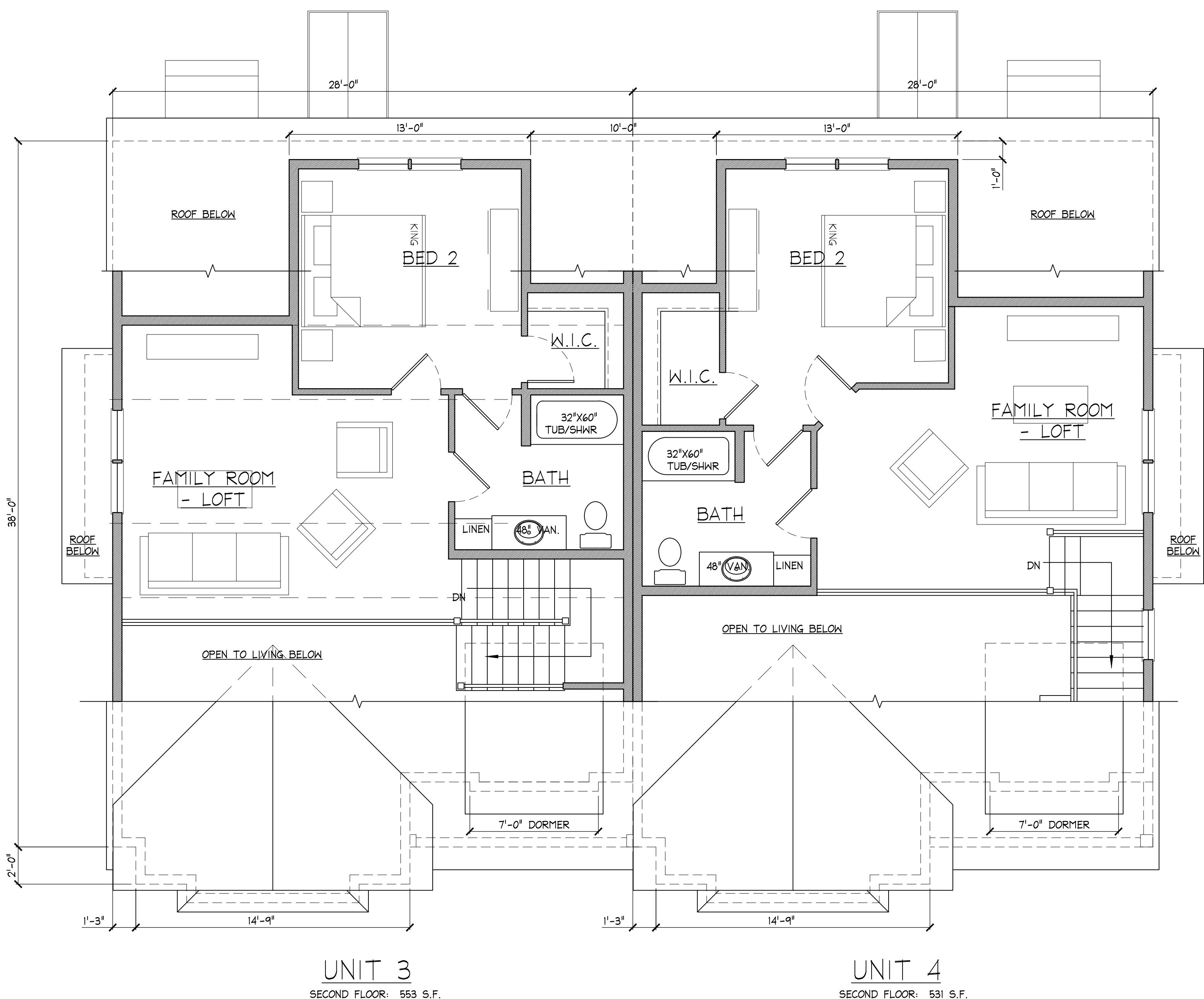
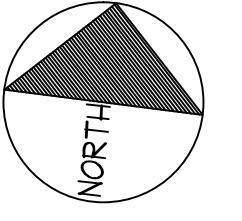
DESIGNERS ■ ARCHITECTS ■ PLANNERS  
IN THE *MIQUELLE* TRADITION

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# Duplex 1 of 4



## DUPLEX SECOND FLOOR PLAN

COND. FL. 200P 553.6.5 + 531.6.5 TOTAL 1.034.6

ND FLOOR: 553 S.F. + 531 S.F. TOTAL: 1,084 S.F.

# 12 Robinson Road, Duplex

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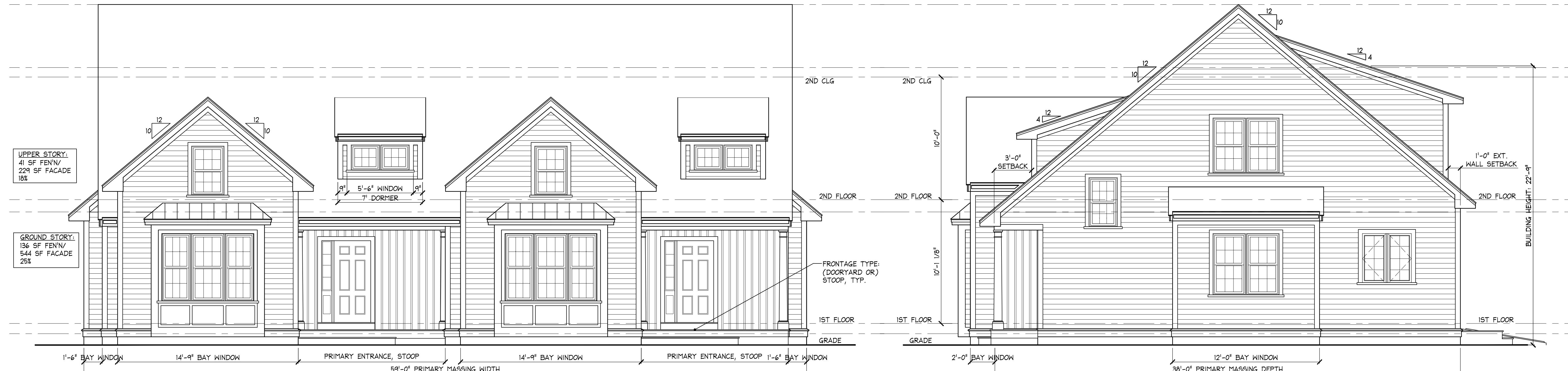
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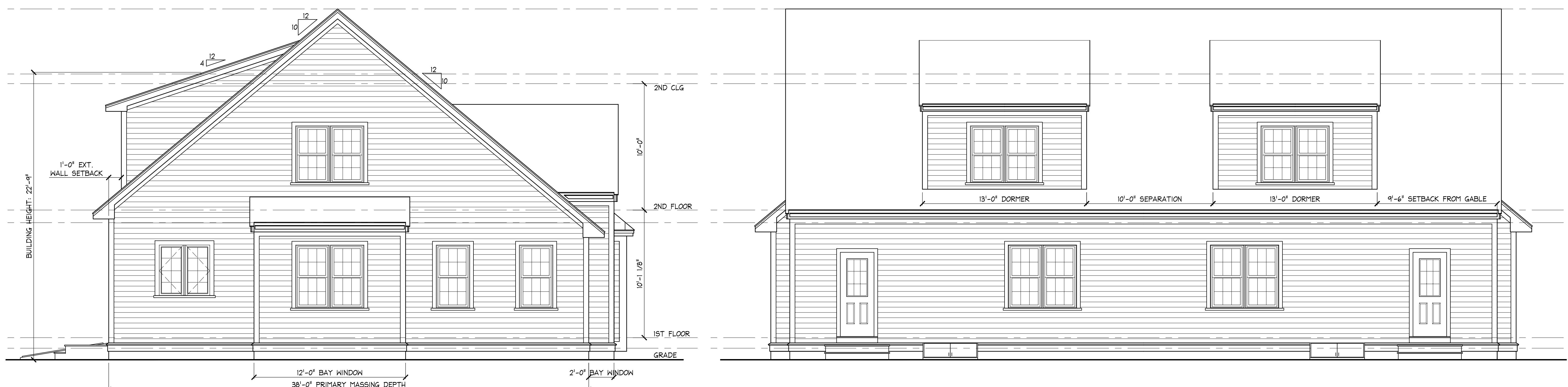
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# Duplex 2 of 4



FRONT ELEVATION

RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

REAR ELEVATION

1/4" = 1'-0"

1/4" = 1'-0"

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



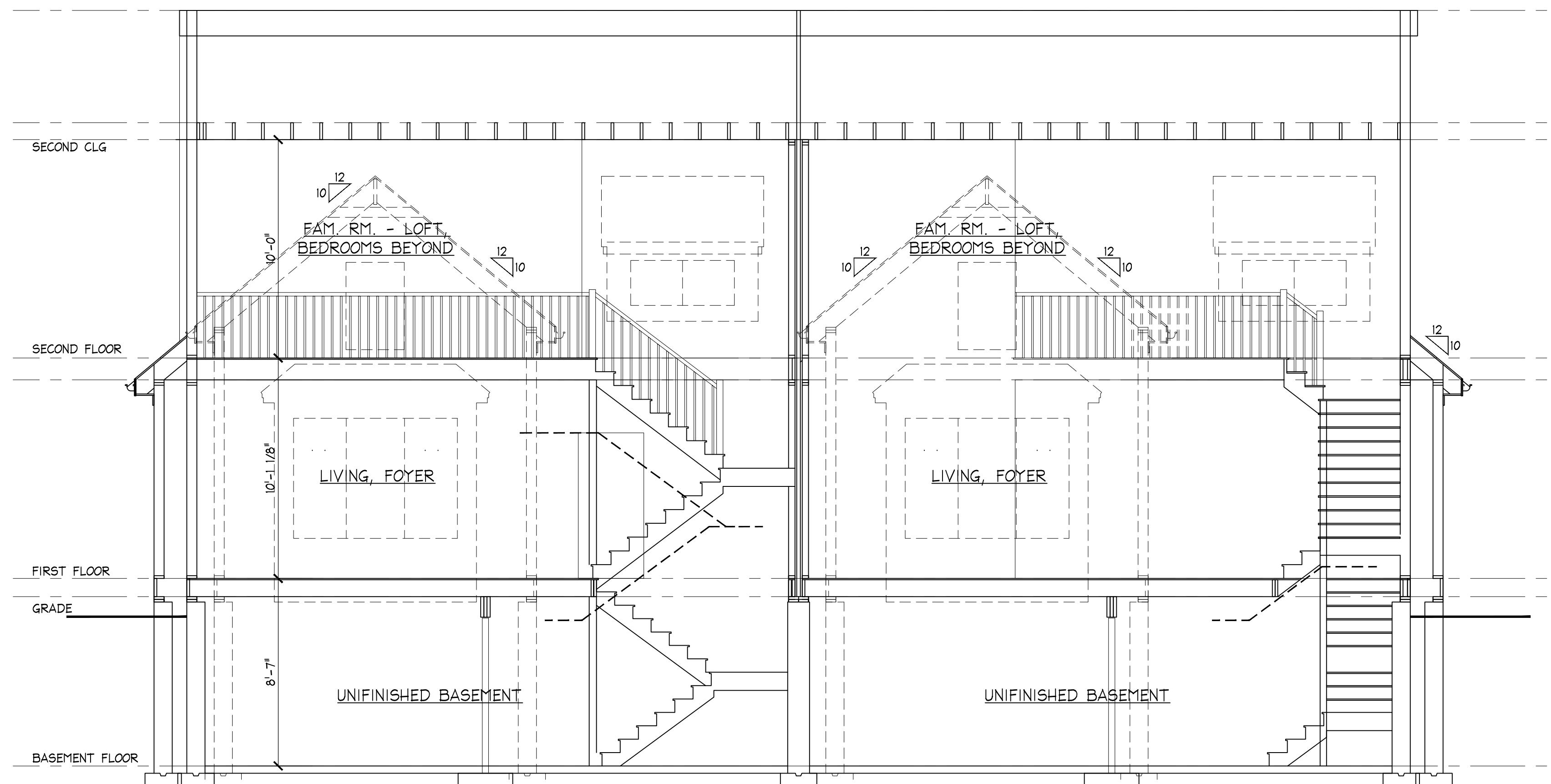
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Duplex 3 of 4

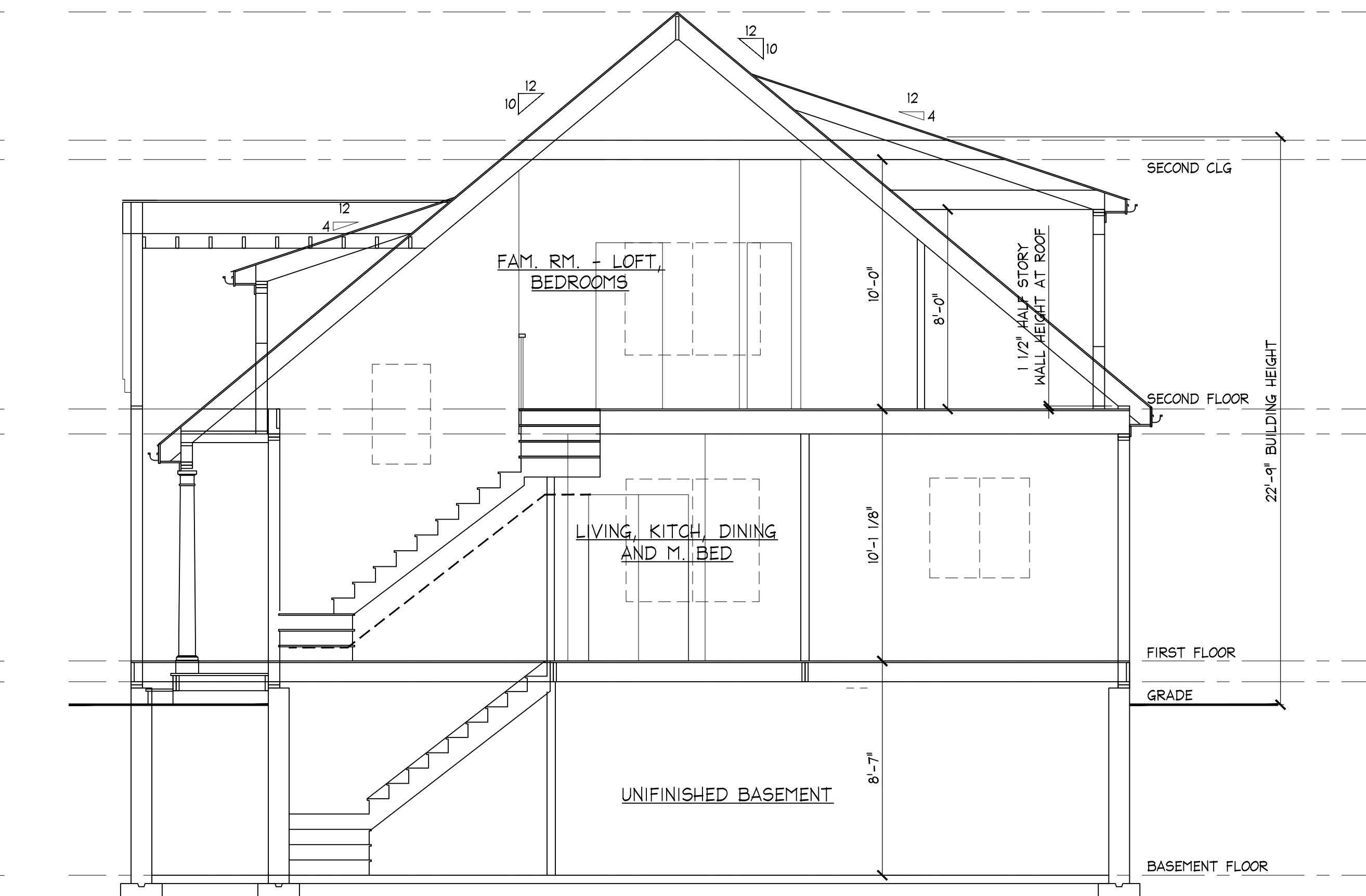
12 Robinson Road, Duplex  
Littleton, MA      July 26, 2024



SECTION A

1/4" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

12 Robinson Road, Duplex  
Littleton, MA July 26, 2024

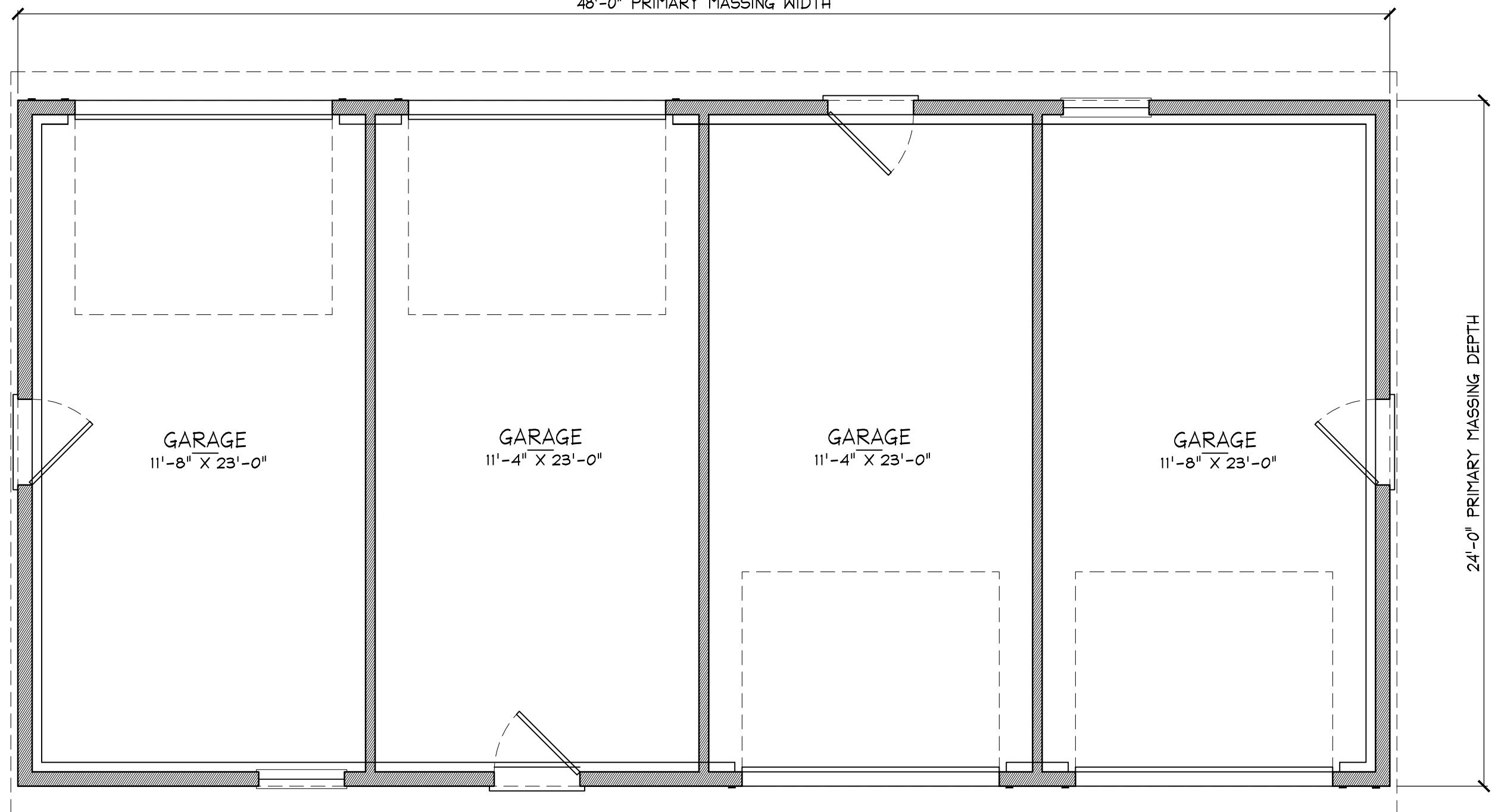


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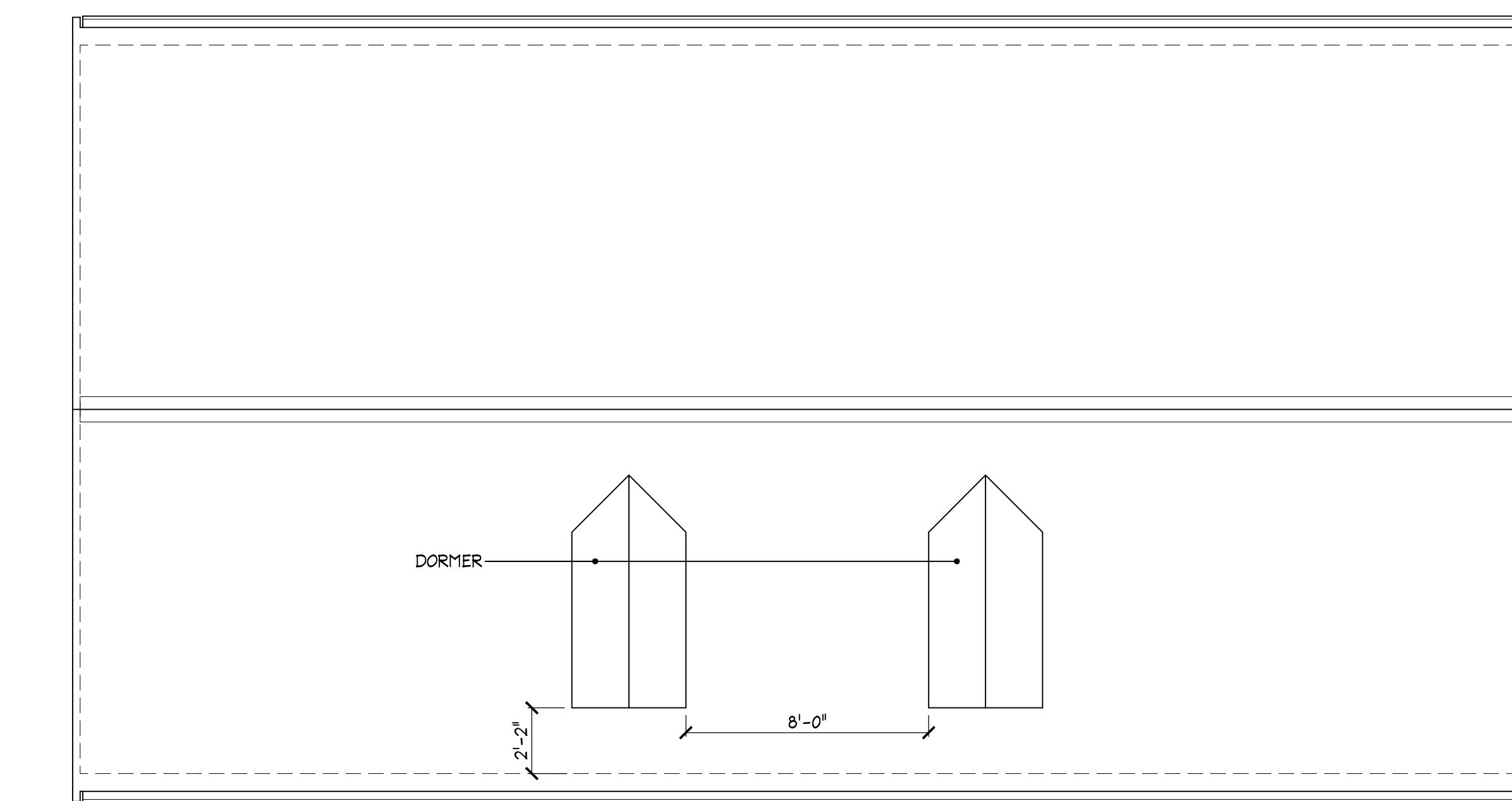
Duplex 4 of 4



FLOOR PLAN

1/4" = 1'-0"

1,152 S.F.



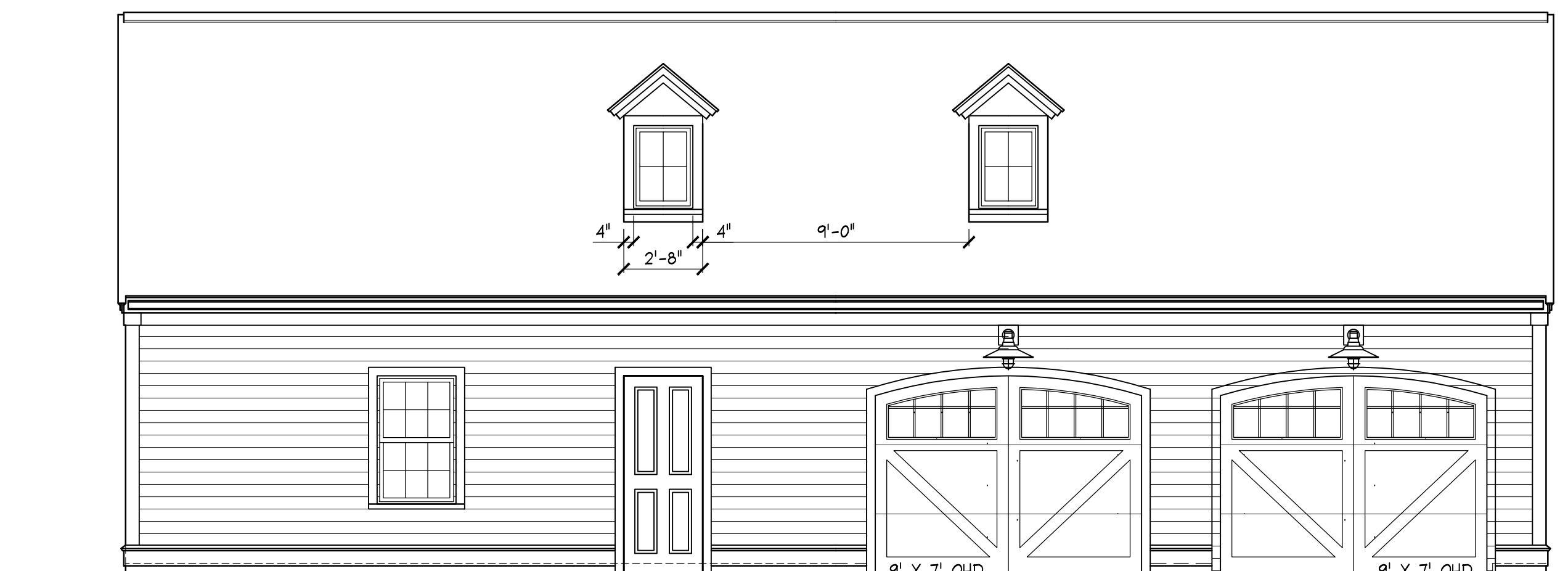
ROOF PLAN

1/4" = 1'-0"



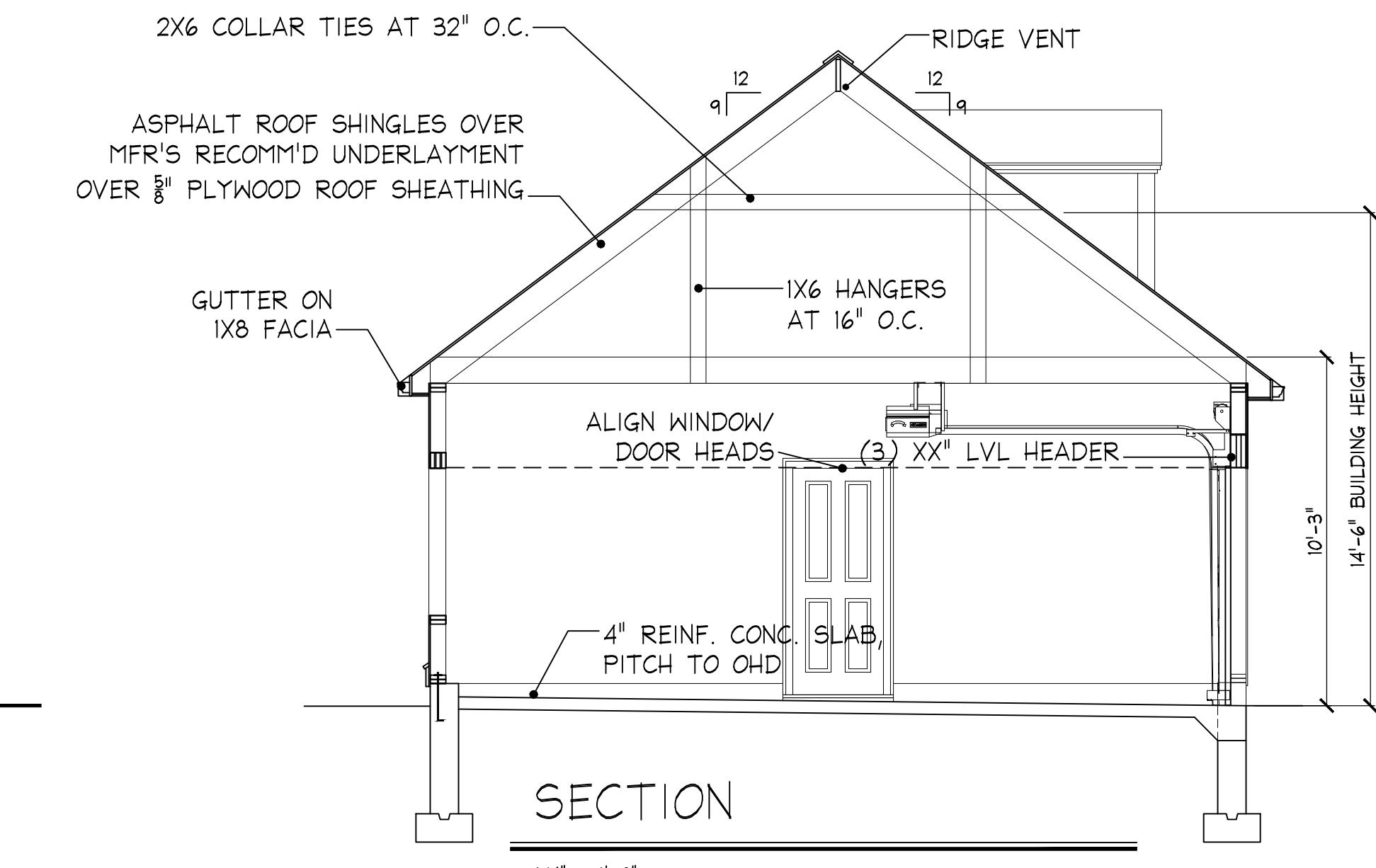
LEFT END ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"



SECTION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



12 Robinson Road, Duplex  
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Garage 1 of 1