

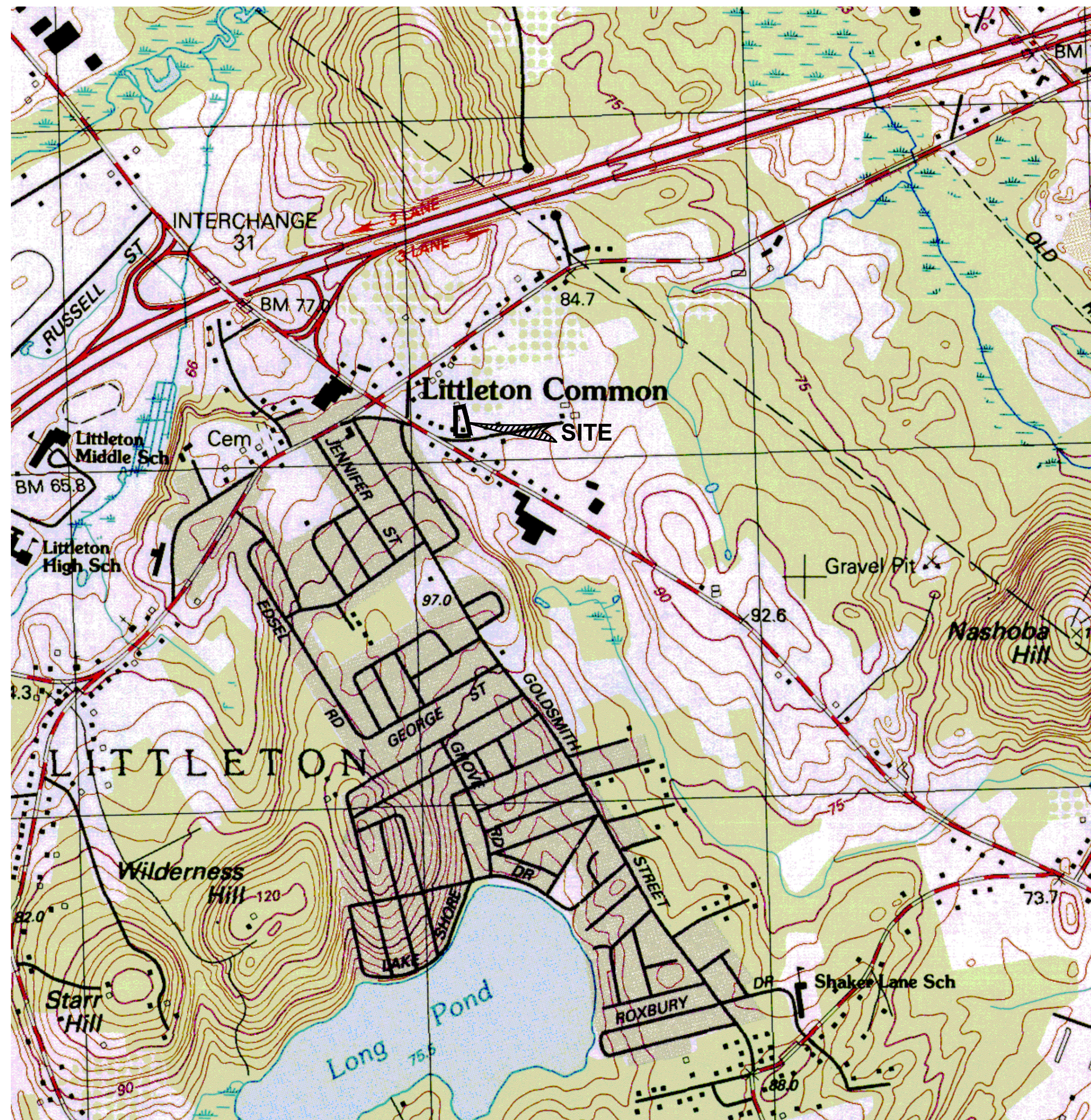
SITE PLAN

12 ROBINSON ROAD
LITTLETON, MA

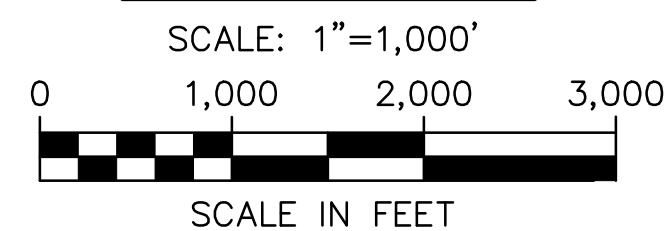
PLAN NOTES:

1. DEVIATION FROM AN APPROVED PLAN IS NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF APPLICABLE LOCAL BOARDS AND THIS OFFICE.
2. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ON THE GROUND AND SURVEY CONDUCTED BY LANDTECH CONSULTANTS, INC. IN MAY OF 2023.
3. BOUNDARY INFORMATION SHOWN HEREON IS THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED BY LANDTECH CONSULTANTS, INC. IN MAY OF 2021 BASED ON INFORMATION OBTAINED FROM THE PUBLIC RECORDS.
4. THE BEARINGS, DISTANCES AND COORDINATES ARE BASED ON AND SHOWN HEREON IN U.S. SURVEY FEET IN MA. STATE PLANE COORDINATE SYSTEM REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORS ADJUSTMENT (NA2011/GEOID 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN MAY OF 2023 UTILIZING THE MACORS RTK GPS NETWORK.
5. THE VERTICAL DATUM FOR THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CORS ADJUSTMENT (NA2011/GEOID 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN MAY OF 2023 UTILIZING THE MACORS RTK GPS NETWORK.
6. UTILITY INFORMATION SHOWN HEREON IS BASED ON RECORD INFORMATION AND FIELD OBSERVATIONS. A SUBSURFACE INVESTIGATION WAS NOT PERFORMED.
7. THE SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DEFINED IN FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 25017C0236F WITH AN EFFECTIVE DATE OF JULY 7, 2014.
6. THIS PARCEL IS LOCATED IN ZONING DISTRICT VC (VILLAGE COMMON), AND IS SUBJECT TO THE REQUIREMENTS OF THE CURRENT ZONING BY-LAWS.

ZONING DISTRICT: VILLAGE COMMON (VC)
PRIMARY FRONT SETBACK: 10/20 FEET (MIN/MAX)
SECONDARY FRONT SETBACK: 10/20 FEET (MIN/MAX)
SIDE SETBACK: 10 FEET
REAR SETBACK: 10 FEET
PRIMARY PARKING SETBACK: 20 FEET
SECONDARY PARKING SETBACK: 20 FEET
LOT COVERAGE: 80% (MAX)
FACADE BUILDOUT: 60% (MIN)



LOCUS MAP



ISSUE DATE: JULY 25, 2023



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JOB No. 22-241 DRAWING No. 11179

PLAN INDEX

SHEET NAME	SHEET NUMBER
1. TITLE SHEET	(C-0)
2. EXISTING CONDITIONS PLAN	(EX-1)
3. SITE PLAN	(C-1)
4. GRADING, DRAINAGE, & UTILITIES PLAN	(C-2)
5. DETAILS & SECTIONS	(D-1)
6. LANDSCAPE PLAN (BY OTHERS)	(L-1)
7. ARCHITECTURAL PLANS	(UNDER SEPARATE COVER)

CONSULTANTS:

CIVIL ENGINEER
LANDTECH CONSULTANTS
515 GROTON ROAD
WESTFORD, MA 01886
978.692.6100

RECORD OWNER

TOWN OF LITTLETON
PO BOX 1305
LITTLETON, MA 01460

APPLICANT

JOE CATALDO
36 ROBINSON ROAD
LITTLETON, MA 01460

ASSESSOR'S REFERENCES

TAX MAP U07, PARCEL 15, LOT 0

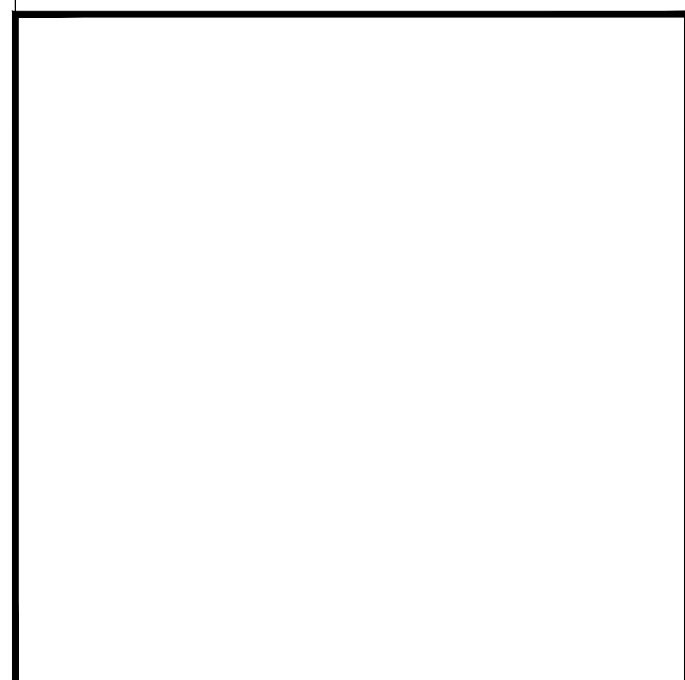
DEED REFERENCES

DEED BOOK 71265, PAGE 451

PLAN REFERENCES

1. M.S.D.R.D. PLAN 362 OF 1967.
2. M.S.D.R.D. PLAN 380 OF 1970.
3. M.S.D.R.D. PLAN 837 OF 1987.
4. M.S.D.R.D. PLAN 1331 OF 1999.

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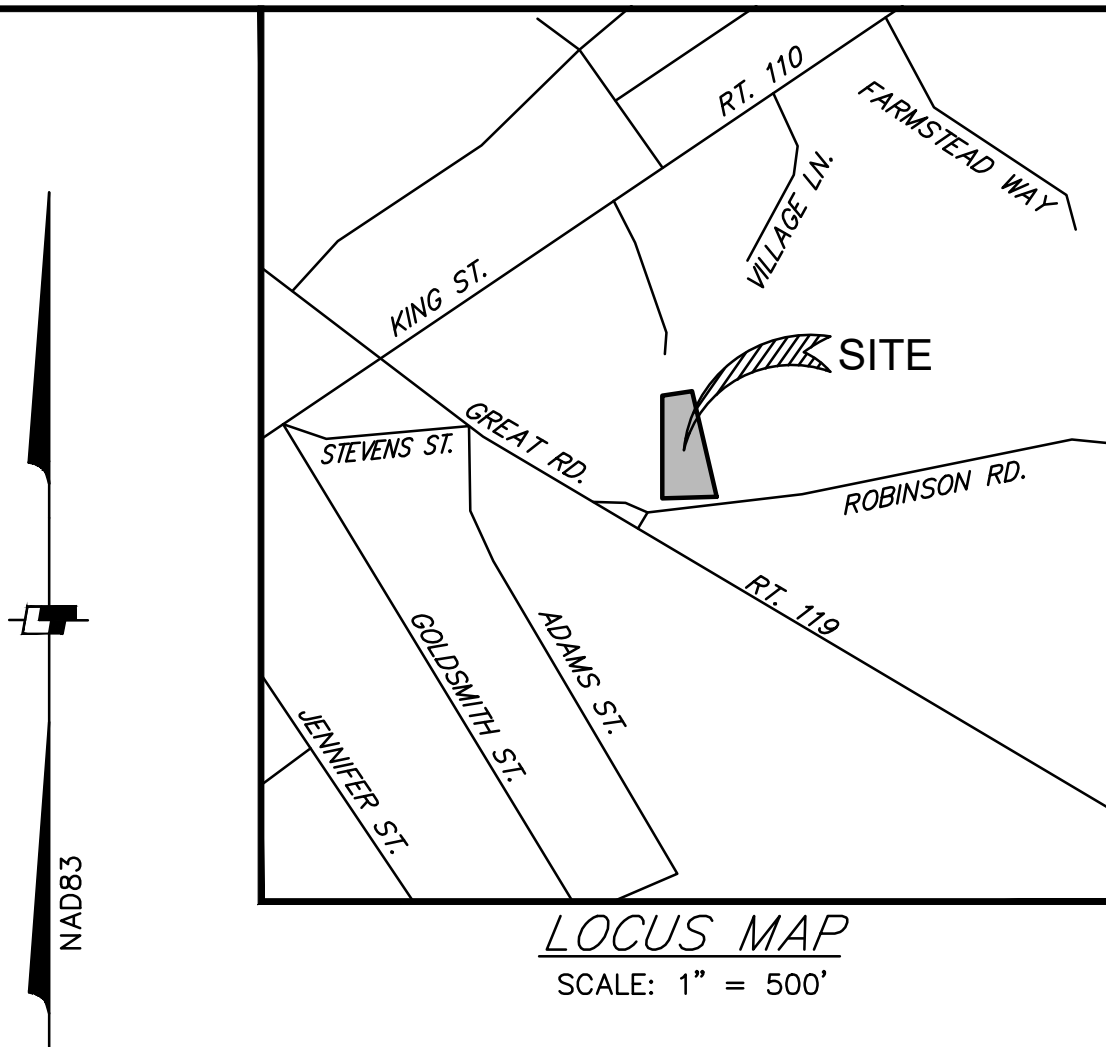
CERTIFICATION

BUILDING LIES IN ZONE X, AREAS OUTSIDE THE 500-YEAR FLOOD PLAIN, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP, MAP No. 25017C0236F, EFFECTIVE DATE JULY 7, 2014.

MATTHEW A. WATERMAN
REGISTERED PROFESSIONAL ENGINEER
REGISTRATION No. 45666
(FOR LANDTECH CONSULTANTS, INC.)

TOWN OF LITTLETON
PLANNING BOARD APPROVAL

DATE _____



RECORD OWNER

TOWN OF LITTLETON
PO BOX 1305
LITTLETON, MA 01460

ASSESSOR'S REFERENCE

TAX MAP U07, PARCEL 15, LOT 0

DEED REFERENCE

DEED BOOK 71265, PAGE 451

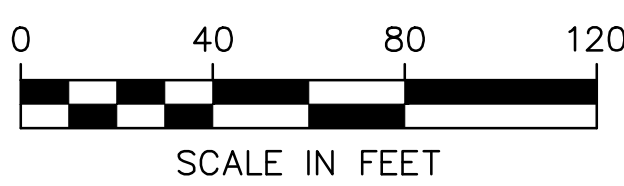
PLAN REFERENCE

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3. M.S.D.R.D. PLAN 837 OF 1987.
4. M.S.D.R.D. PLAN 1331 OF 1999.

SURVEY NOTES

1. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ON THE GROUND AND SURVEY CONDUCTED BY LANDTECH CONSULTANTS, INC. IN MAY OF 2023.
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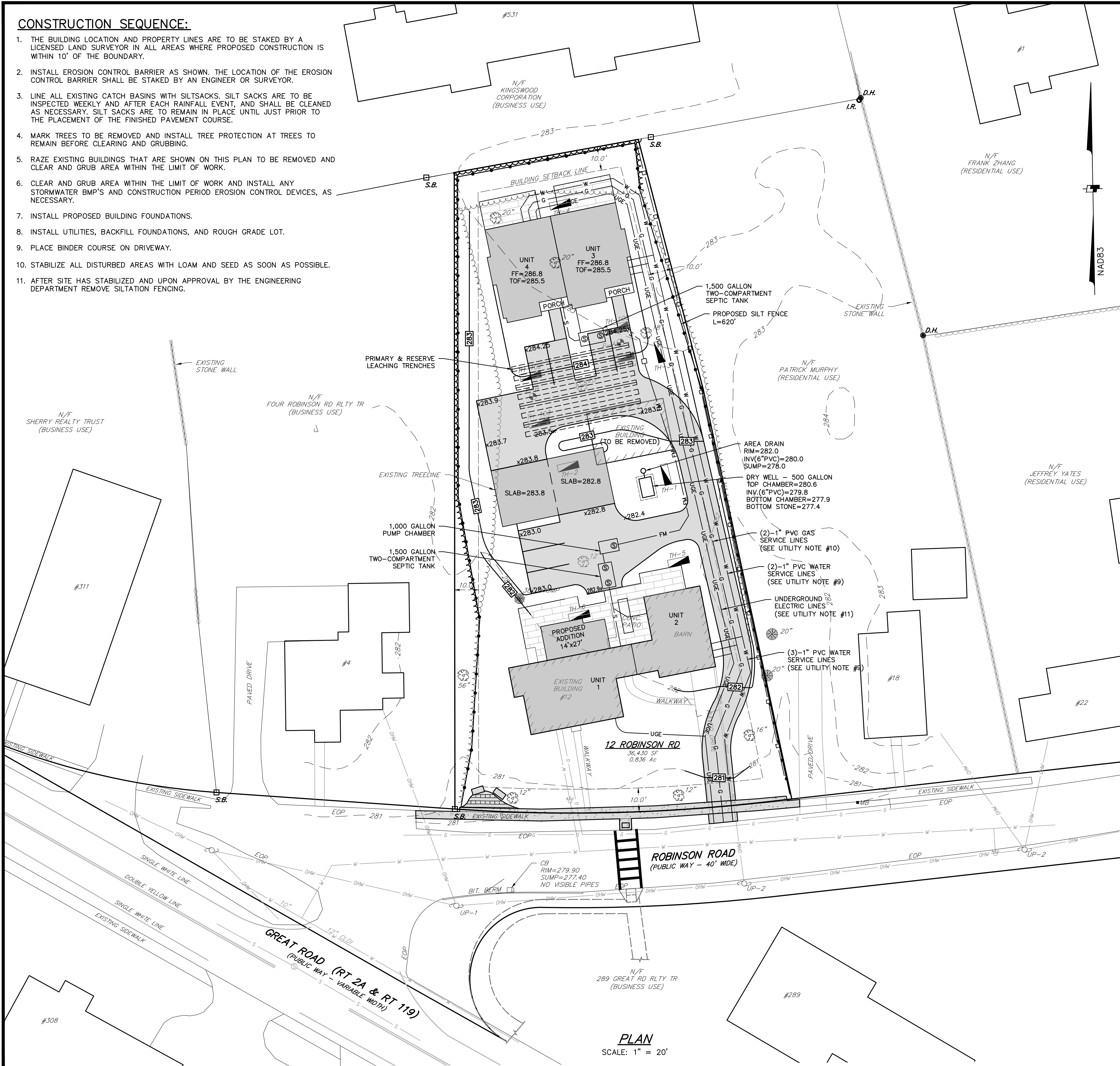
ZONING DISTRICT:	VILLAGE COMMON (VC)
PRIMARY FRONT SETBACK:	10/20 FEET (MIN/MAX)
SECONDARY FRONT SETBACK:	10/20 FEET (MIN/MAX)
SIDE SETBACK:	10 FEET
REAR SETBACK:	10 FEET
PRIMARY PARKING SETBACK:	20 FEET
SECONDARY PARKING SETBACK:	20 FEET
LOT COVERAGE:	80% (MAX)
FACADE BUILDOUT:	60% (MIN)



Prepared for: JOSEPH CATALDO 36 ROBINSON ROAD LITTLETON, MA 01460		Check MAW
DESIGN MJS		Draft MJS
EXISTING CONDITIONS PLAN 12 ROBINSON ROAD LITTLETON, MA		APRIL 14, 2022
Scale: 1" = 20'		
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Job. No. 22-146	Dwg. No. 11179	Sheet EX-1

CONSTRUCTION SEQUENCE:

1. THE BUILDING LOCATION AND PROPERTY LINES ARE TO BE STAKED BY A LICENSED LAND SURVEYOR IN ALL AREAS WHERE PROPOSED CONSTRUCTION IS WITHIN 10' OF THE BOUNDARY.
2. INSTALL EROSION CONTROL BARRIER AS SHOWN. THE LOCATION OF THE EROSION CONTROL BARRIER SHALL BE STAKED BY AN ENGINEER OR SURVEYOR.
3. LINE ALL EXISTING CATCH BASINS WITH SILTSACKS. SILT SACKS ARE TO BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT, AND SHALL BE CLEANED AS NECESSARY. SILT SACKS ARE TO REMAIN IN PLACE UNTIL JUST PRIOR TO THE PLACEMENT OF THE FINISHED PAVEMENT COURSE.
4. MARK TREES TO BE REMOVED AND INSTALL TREE PROTECTION AT TREES TO REMAIN BEFORE CLEARING AND GRUBBING.
5. RAZE EXISTING BUILDINGS THAT ARE SHOWN ON THIS PLAN TO BE REMOVED AND CLEAR AND GRUB AREA WITHIN THE LIMIT OF WORK.
6. CLEAR AND GRUB AREA WITHIN THE LIMIT OF WORK AND INSTALL ANY STORMWATER BMP'S AND CONSTRUCTION PERIOD EROSION CONTROL DEVICES, AS NECESSARY.
7. INSTALL PROPOSED BUILDING FOUNDATIONS.
8. INSTALL UTILITIES, BACKFILL FOUNDATIONS, AND ROUGH GRADE LOT.
9. PLACE BINDER COURSE ON DRIVEWAY.
10. STABILIZE ALL DISTURBED AREAS WITH LOAM AND SEED AS SOON AS POSSIBLE.
11. AFTER SITE HAS STABILIZED AND UPON APPROVAL BY THE ENGINEERING DEPARTMENT REMOVE SILTATION FENCING.



CONSTRUCTION NOTES:

1. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF LOAM & SEED UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE ENGINEER. ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED WITHIN THE PLANS.
3. ANY DISTURBANCE TO EXISTING PUBLIC AND PRIVATE WAYS DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE TOWN OF WESTFORD HIGHWAY DEPARTMENT.
4. LOCATION AND SIZE OF EXISTING UTILITIES IS APPROXIMATE ONLY. CONTRACTOR MUST VERIFY PROPOSED CONNECTIONS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. DIG SAFE SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION (1-888-344-7233).
5. FINAL LOCATION, SIZE, AND DEPTH OF PRIVATE UTILITIES ARE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANY.
6. UNSUITABLE EXISTING SOILS/FILL, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED STORMWATER SYSTEMS. REMOVE ALL ORGANICS.
7. ANY REPLACEMENT SOIL REQUIRED AT STORMWATER BMP'S DUE TO THE REMOVAL OF UNSUITABLE FILL MATERIALS SHALL BE GRANULAR FILL FREE OF ANY ORGANIC MATERIAL WITH NO STONES LARGER THAN SIX INCHES. MEETING MASSDOT M1.03.0 TYPE A GRAVEL BORROW SPECIFICATIONS. GRANULAR MATERIALS SHALL NOT BE LUMPY OR FROZEN, AND FREE OF ANY DELETERIOUS MATERIAL. GRANULAR FILL MATERIAL SHALL BE UNIFORMLY DISTRIBUTED AND THOROUGHLY COMPACTED PRIOR TO THE INSTALLATION OF ANY BMP COMPONENTS.
8. ONLY CLEAN FILL SHALL BE USED FOR THE PROJECT. FILL SHALL BE CLEAR OF TRASH, DEBRIS, ASPHALT, BRICK, CONCRETE, METAL, WOOD OR OTHER RECYCLED CONSTRUCTION MATERIALS.
9. DRY WELLS ARE TO BE PROTECTED FROM SILT DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, THE SYSTEM IS TO BE CLEANED OF ANY SILT ACCUMULATION.

UTILITY NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS THROUGHOUT THE PROJECT AND PROVIDING THE OWNER WITH A SET OF THE FINAL RECORD DRAWINGS WHEN THE PROJECT IS COMPLETE.
2. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE LITTLETON HIGHWAY DEPARTMENT AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY ROADWORK OR MUNICIPAL CONSTRUCTION.
4. THIS PROJECT IS SUBJECT TO ALL TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION, LOCAL UTILITY COMPANIES AND MUNICIPAL OFFICIALS. THE CONTRACTOR SHALL REVIEW ALL RELEVANT FEDERAL, STATE AND MUNICIPAL PERMITS ASSOCIATED WITH THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY THAT ALL RELEVANT REQUIREMENTS REGARDING CONSTRUCTION, TESTING, AND REPORTING OF THE PERMITS HAVE BEEN MET AND THE PROJECT HAS BEEN CONSTRUCTED IN COMPLIANCE WITH THESE PORTIONS OF THE PERMITS.
5. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
6. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
7. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
8. THE CONSTRUCTION SITE SHALL BE SECURED IN A MANNER SO AS TO PREVENT INJURY OR PROPERTY DAMAGE TO THE RESIDENTS OF THE TOWN.
9. COORDINATE WATER CONNECTION WITH LITTLETON WATER DEPARTMENT.
10. COORDINATE GAS CONNECTION WITH RESPECTIVE UTILITY COMPANY.
11. COORDINATE ELECTRIC CONNECTION WITH RESPECTIVE UTILITY COMPANY.

DUST CONTROL

1. ADJACENT PAVED AREAS AND ROADS USED FOR CONSTRUCTION TRAFFIC SHALL BE MAINTAINED FREE OF TRACKED SOIL OR FILL MATERIALS. ON-SITE PAVED AREAS, DRIVEWAYS, SIDEWALKS, AND STREETS SHALL BE CLEANED AS NECESSARY BY WET SWEEPING AND/OR WASHING. ADJACENT PAVED AREAS AND ROADS SHALL BE LEFT CLEAN AT THE END OF EACH WORK DAY.
2. EXPOSED EXCAVATIONS, DISTURBED GROUND SURFACES, AND UNPAVED TRAFFIC AREAS SHALL BE WET DOWN AS NECESSARY TO MINIMIZE DUST.
3. DURING NON-WORKING HOURS, THE SITE SHALL BE LEFT IN A CONDITION THAT WILL MINIMIZE DUST FROM BEING GENERATED. PROVIDE TEMPORARY COVER AND DAILY MAINTENANCE FOR SOIL OR FILL STOCKPILES; WET DOWN ACTIVE SURFACES AS NECESSARY.
4. A TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ACTIVE SITE ENTRANCE/EGRESS LOCATIONS TO KEEP ADJACENT PAVED AREAS CLEAN.
5. CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED USING METHODS THAT MINIMIZE DUST GENERATION.
6. PHYSICAL CHEMICAL STABILIZATION SHALL BE APPLIED TO CONTROL DUST ON UNPAVED ROADS IF NECESSARY.
7. VISIBLE SPEED LIMIT SIGNS SHALL BE POSTED AT THE CONSTRUCTION SITE ENTRANCES. NO VEHICLE SHALL EXCEED 10 MILES PER HOUR WITHIN THE CONSTRUCTION SITE.
8. NO CONSTRUCTION VEHICLES SHALL BE ALLOWED TO ENTER THE CONSTRUCTION SITE EXCEPT THROUGH THE STABILIZED CONSTRUCTION ENTRANCE.

Prepared for:
JOSEPH CATALDO
36 ROBINSON ROAD
LITTLETON, MA 01460

Design: MJS
Draft: MJS
Check: MAW

Scale: 1" = 20'

GRADING, DRAINAGE,
AND UTILITIES PLAN
AND UTILITIES PLAN
12 ROBINSON ROAD
LITTLETON, MA

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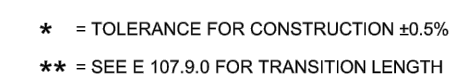
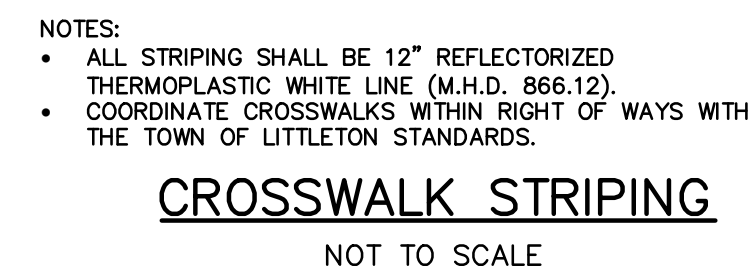
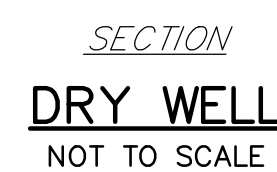
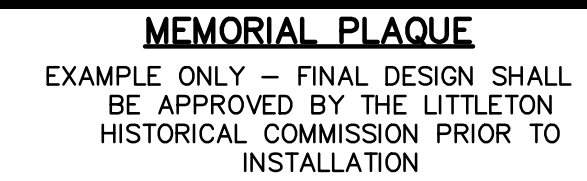
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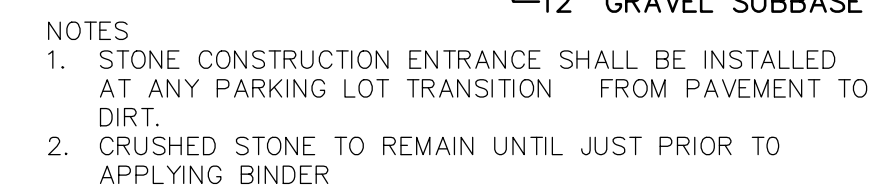
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DATE
JULY 25, 2023

REVISION
BY



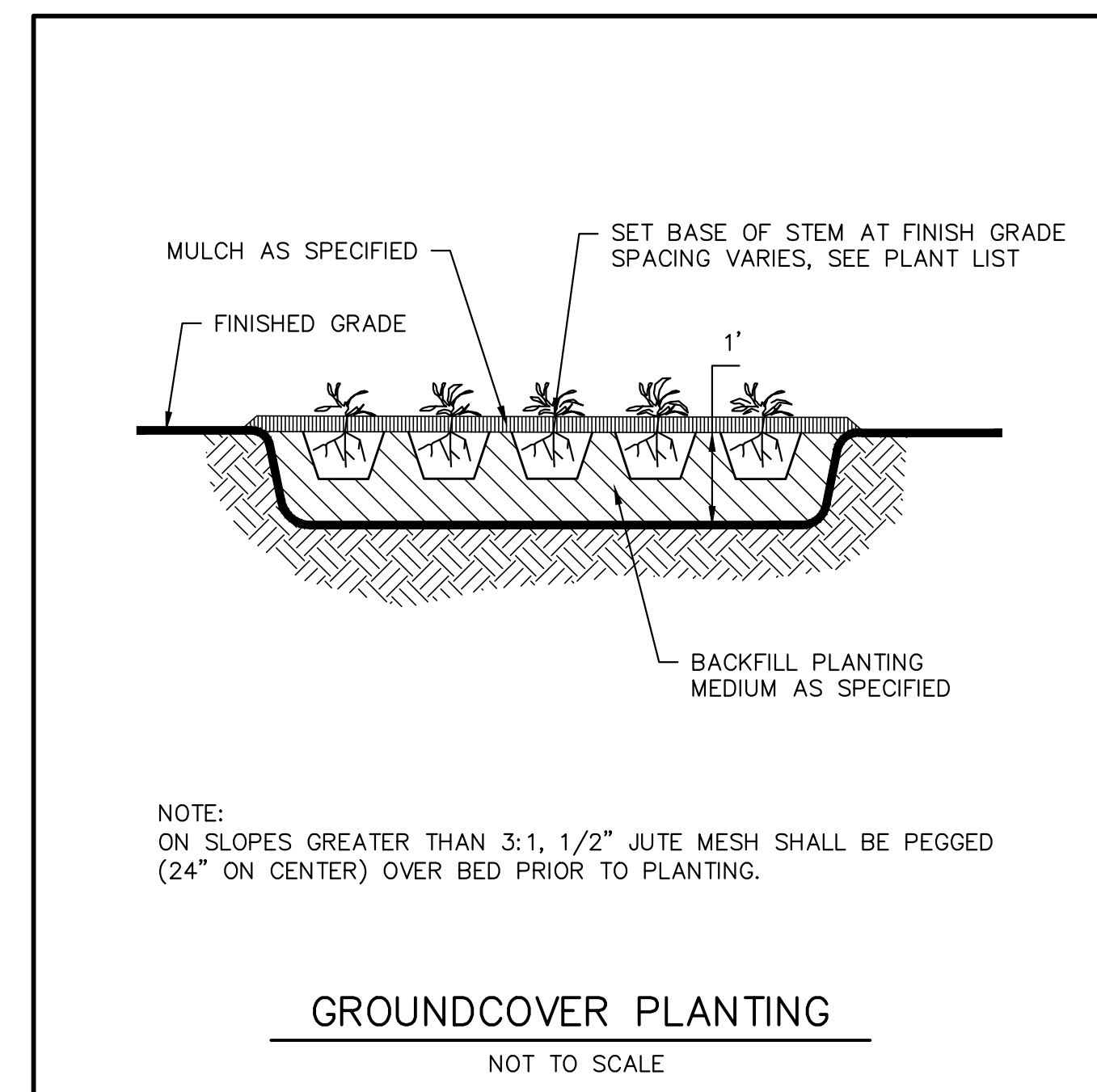
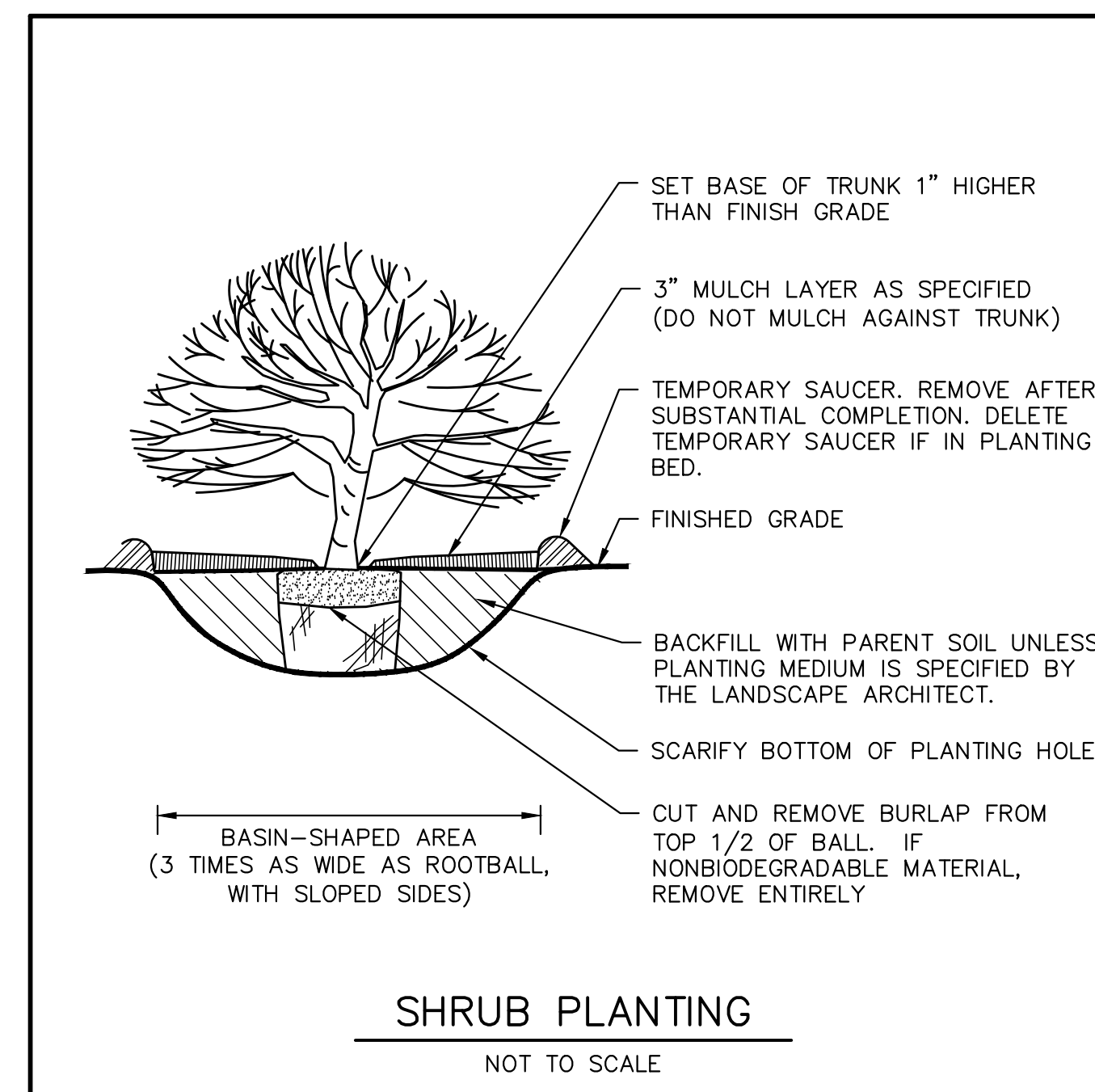
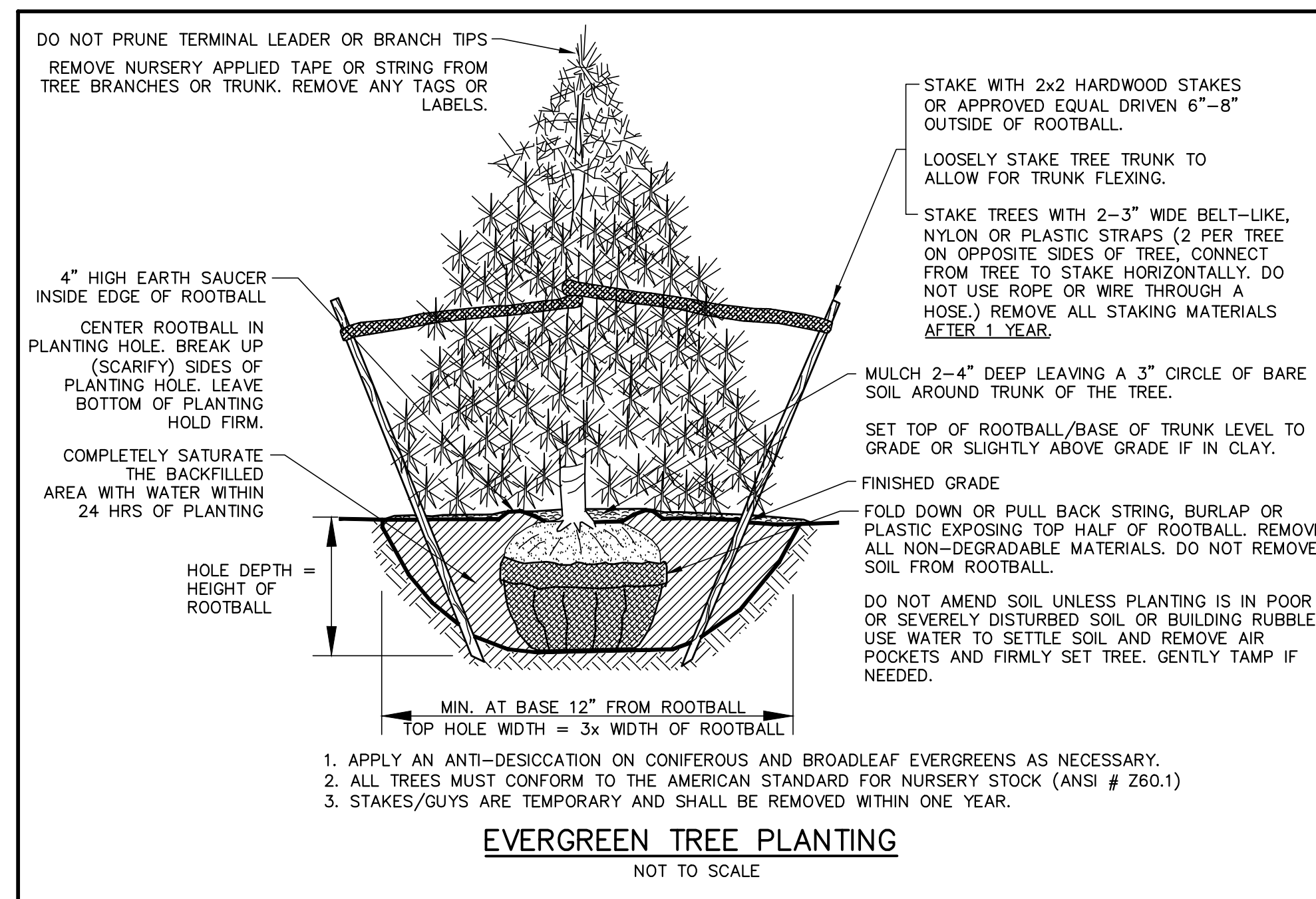
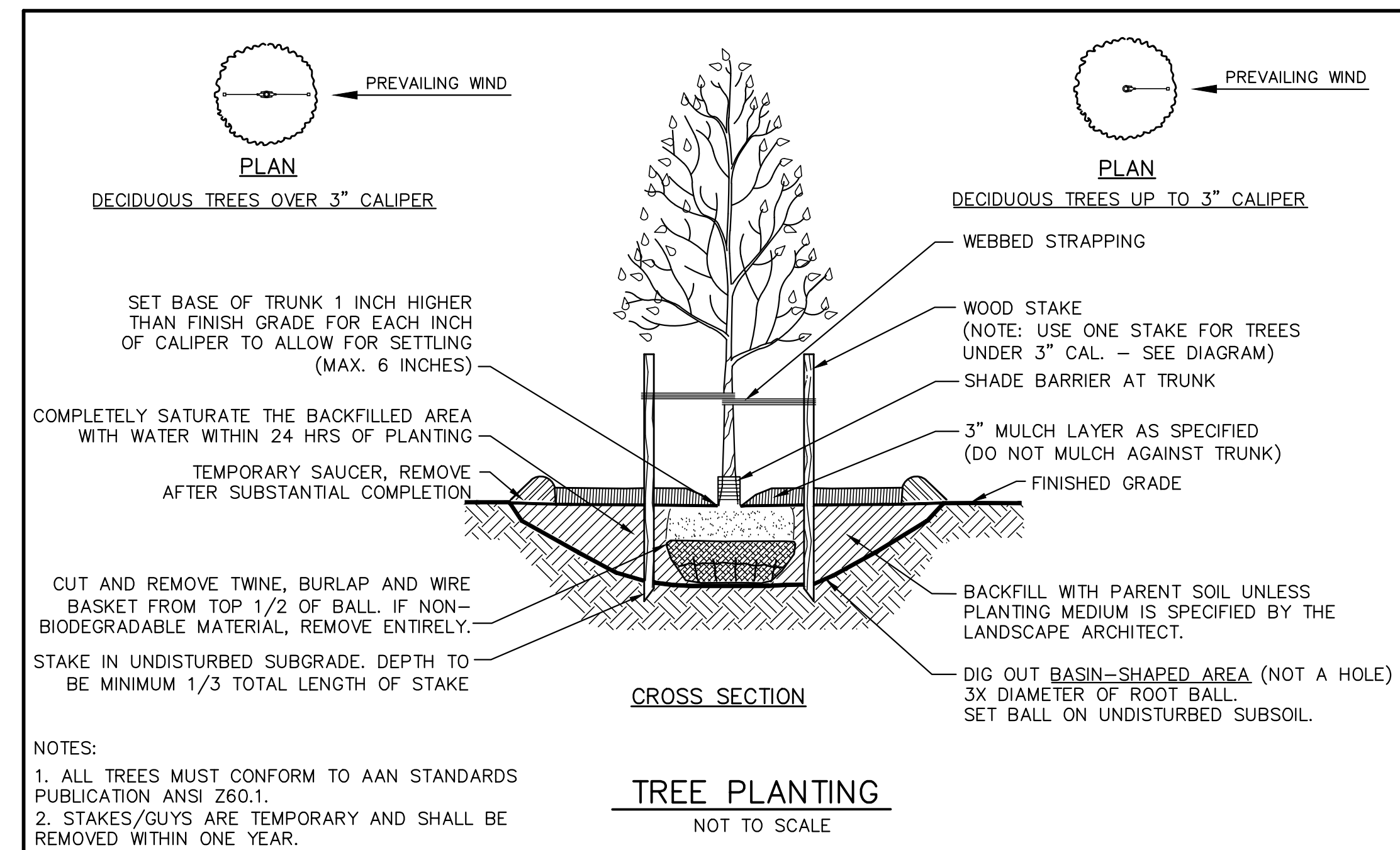
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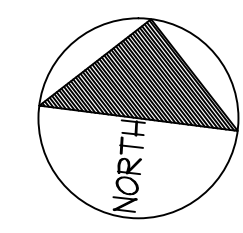
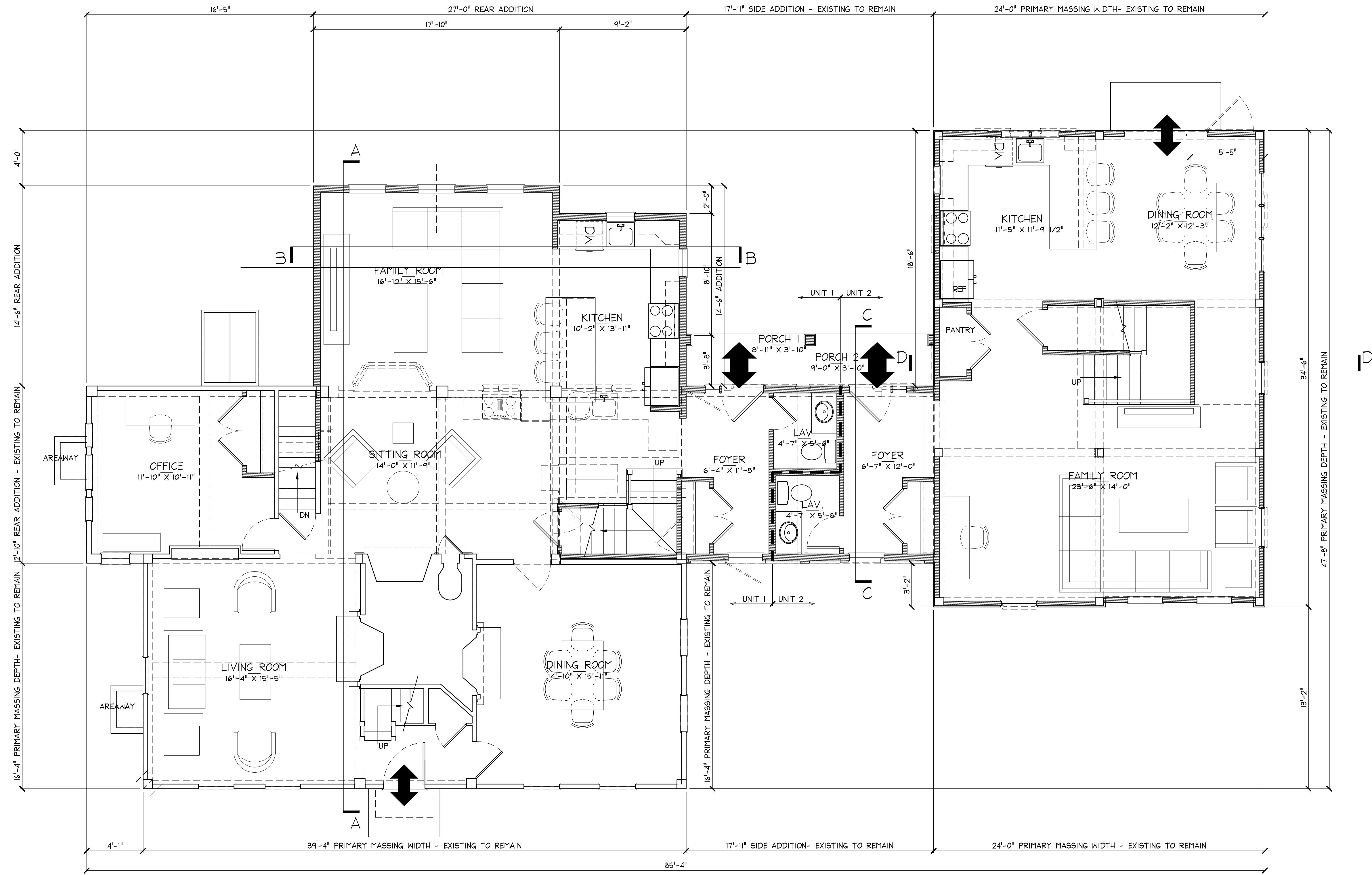


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Sheet L-1								DATE
						BY		



LANDSCAPE
Rigane Andino
7/25/2023

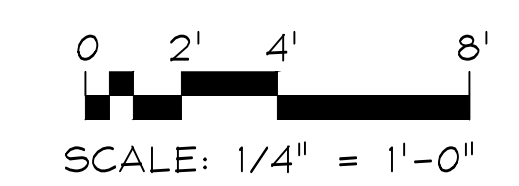
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				DATE	REVISION	BY



UNIT 1
FIRST FLOOR: 1,683 S.F. UNIT TOTAL: 2,540 S.F.
BUILDING TOTAL: 2,628 S.F. 1ST FLR + 1,454 S.F. 2ND FLR = TOTAL: 4,082 S.F.
UNIT 2
FIRST FLOOR: 942 S.F. UNIT TOTAL: 1,539 S.F.

R O B I N S O N R O A D

HOUSE-BARN FIRST FLOOR PLAN
1/4" = 1'-0"
FIRST FLOOR: 1,683 S.F. + 942 S.F. TOTAL: 2,628 S.F.



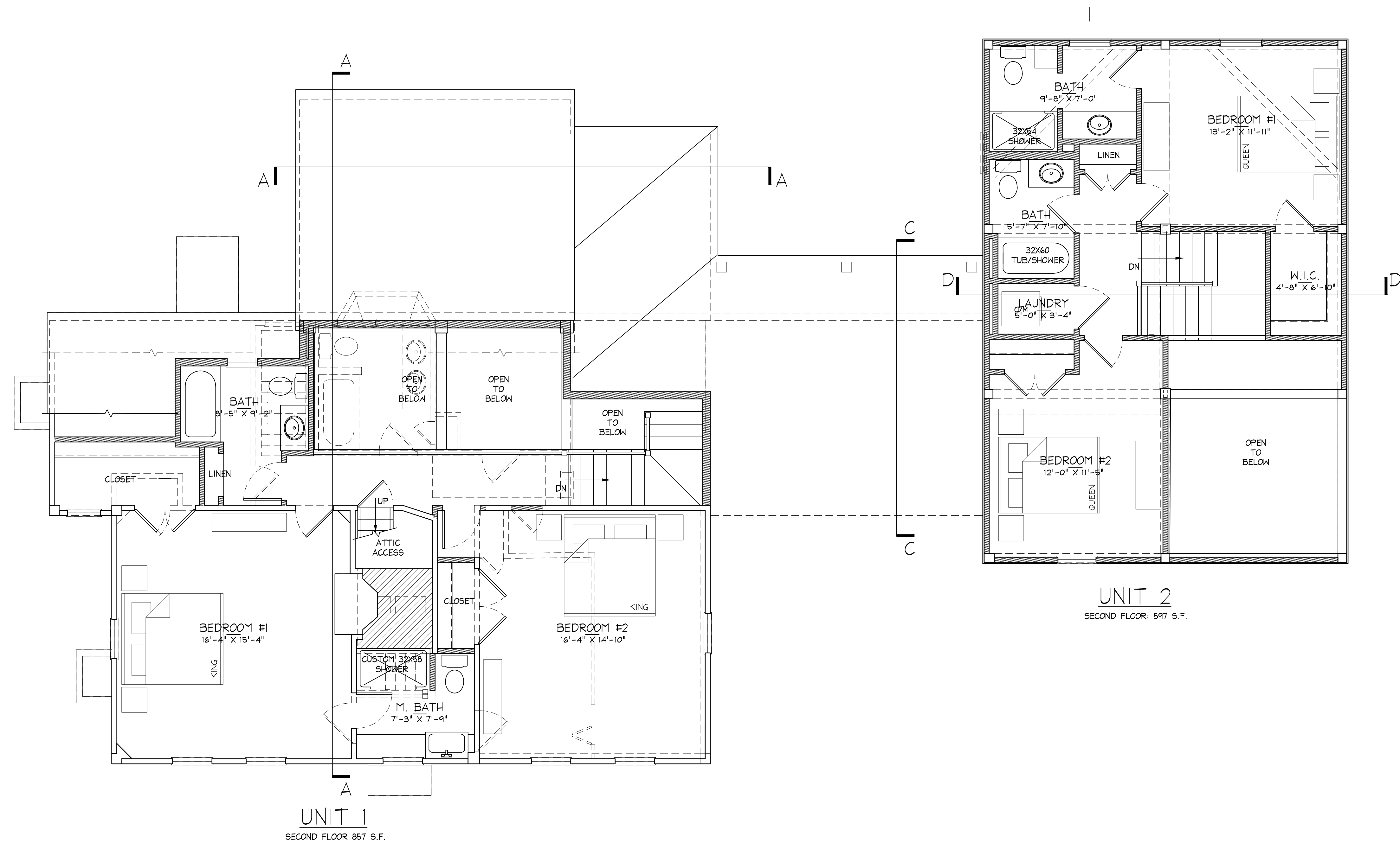
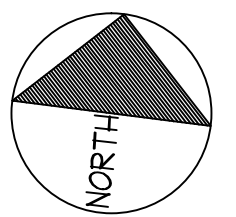
12 Robinson Road, House-Barn

Littleton, MA July 26, 2023

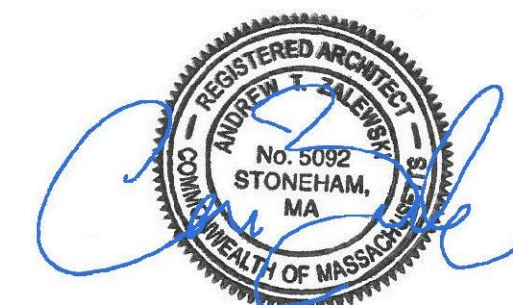
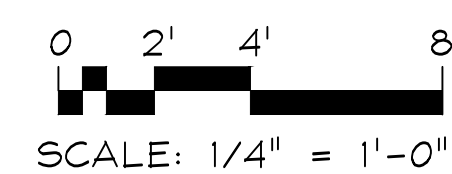
 **The MZO GROUP**
DESIGNERS ■ ARCHITECTS ■ PLANNERS
IN THE *MIQUELLE* TRADITION

335 Main Street, Suite 201 ■ Stoneham, Massachusetts 02180
Voice: 781-279-4446 ■ Fax: 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

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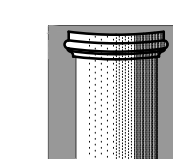


HOUSE-BARN SECOND FLOOR PLAN
1/4" = 1'-0" SECOND FLOOR: 857 S.F. + 597 S.F. TOTAL: 1,454 S.F.



12 Robinson Road, House-Barn

Littleton, MA July 26, 2023

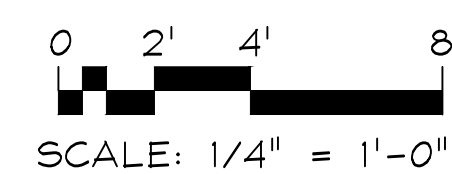
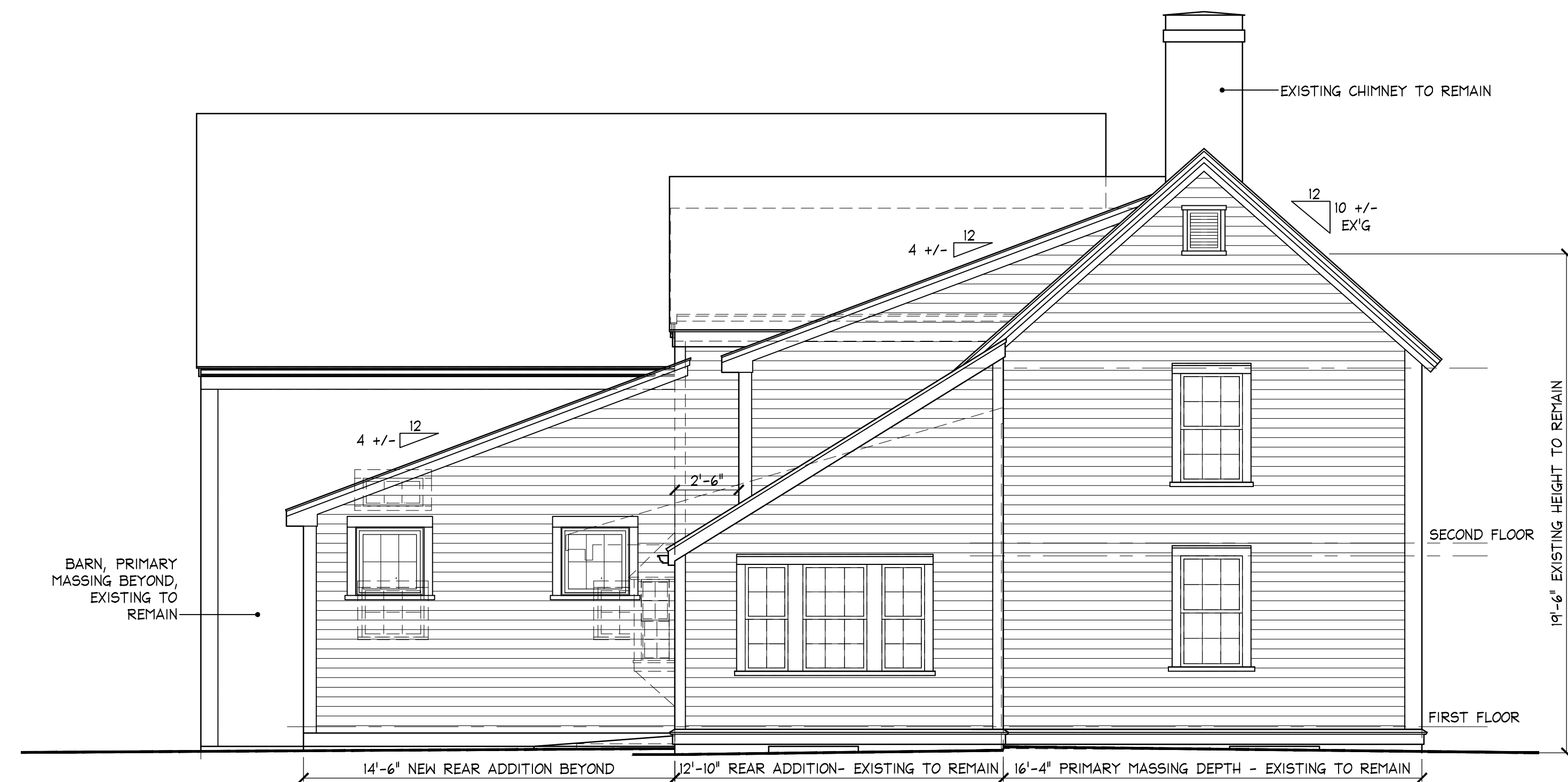


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House - Barn 2 of 5



12 Robinson Road, House-Barn

Littleton, MA

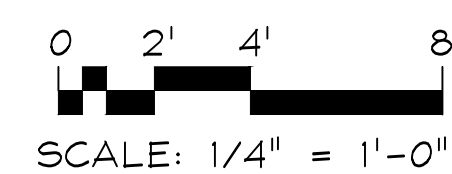
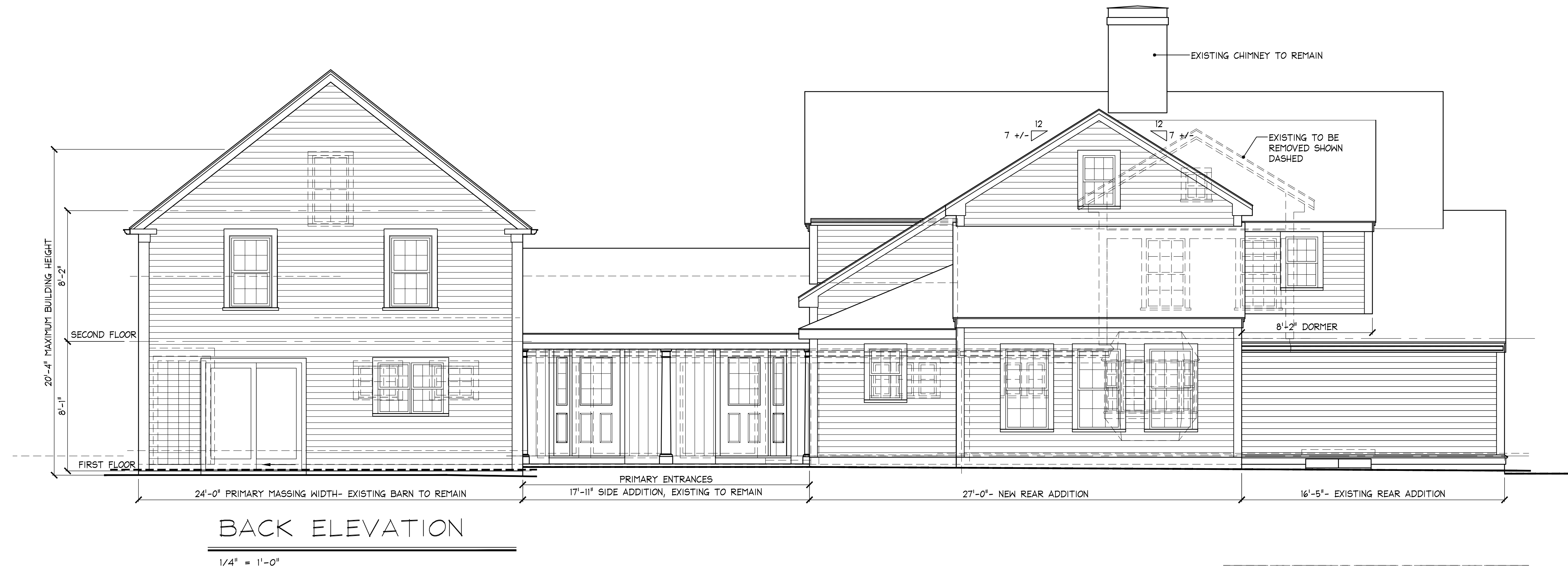
July 26, 2023

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House-Barn 3 of 5

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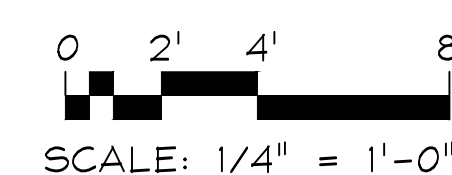
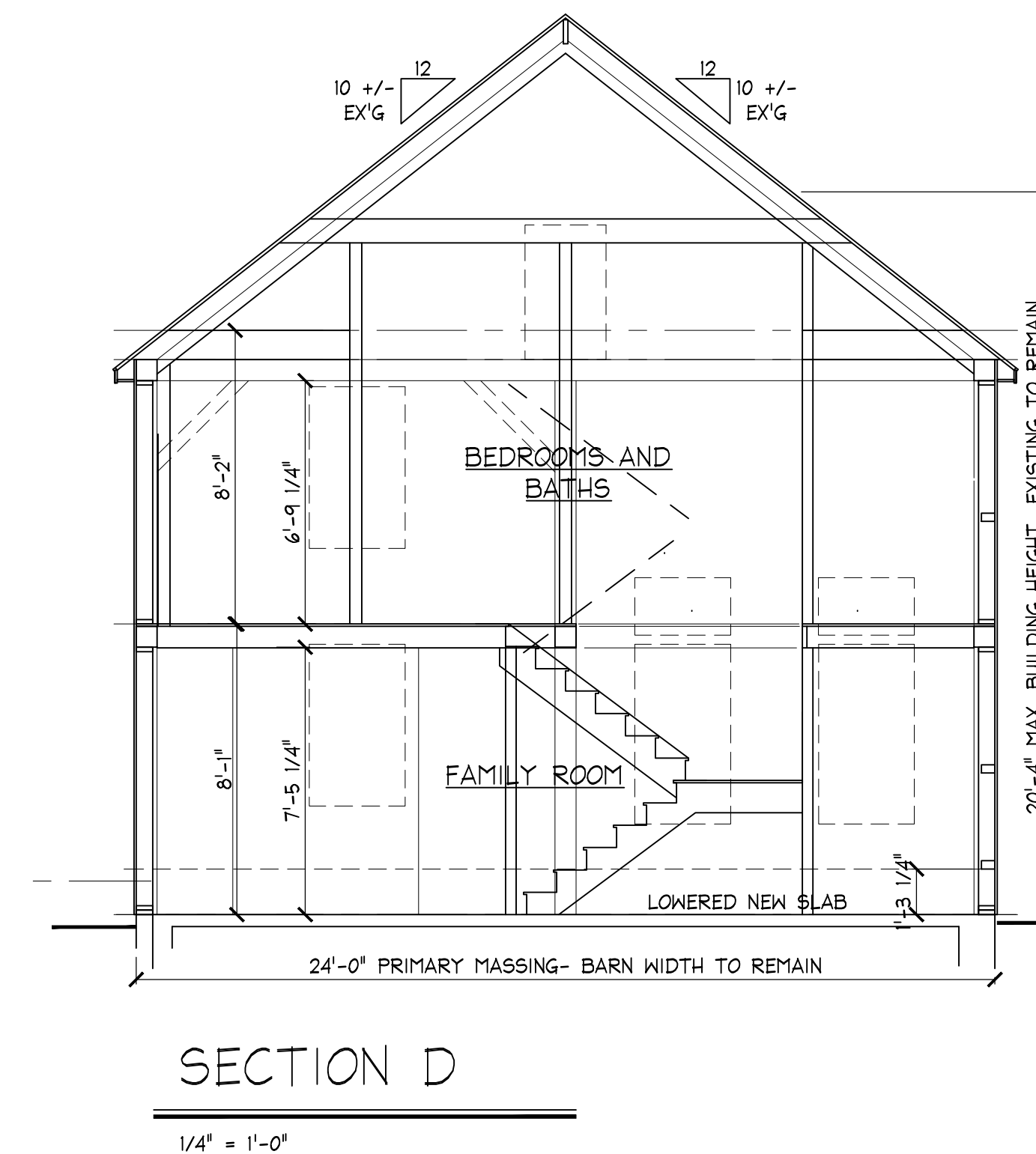
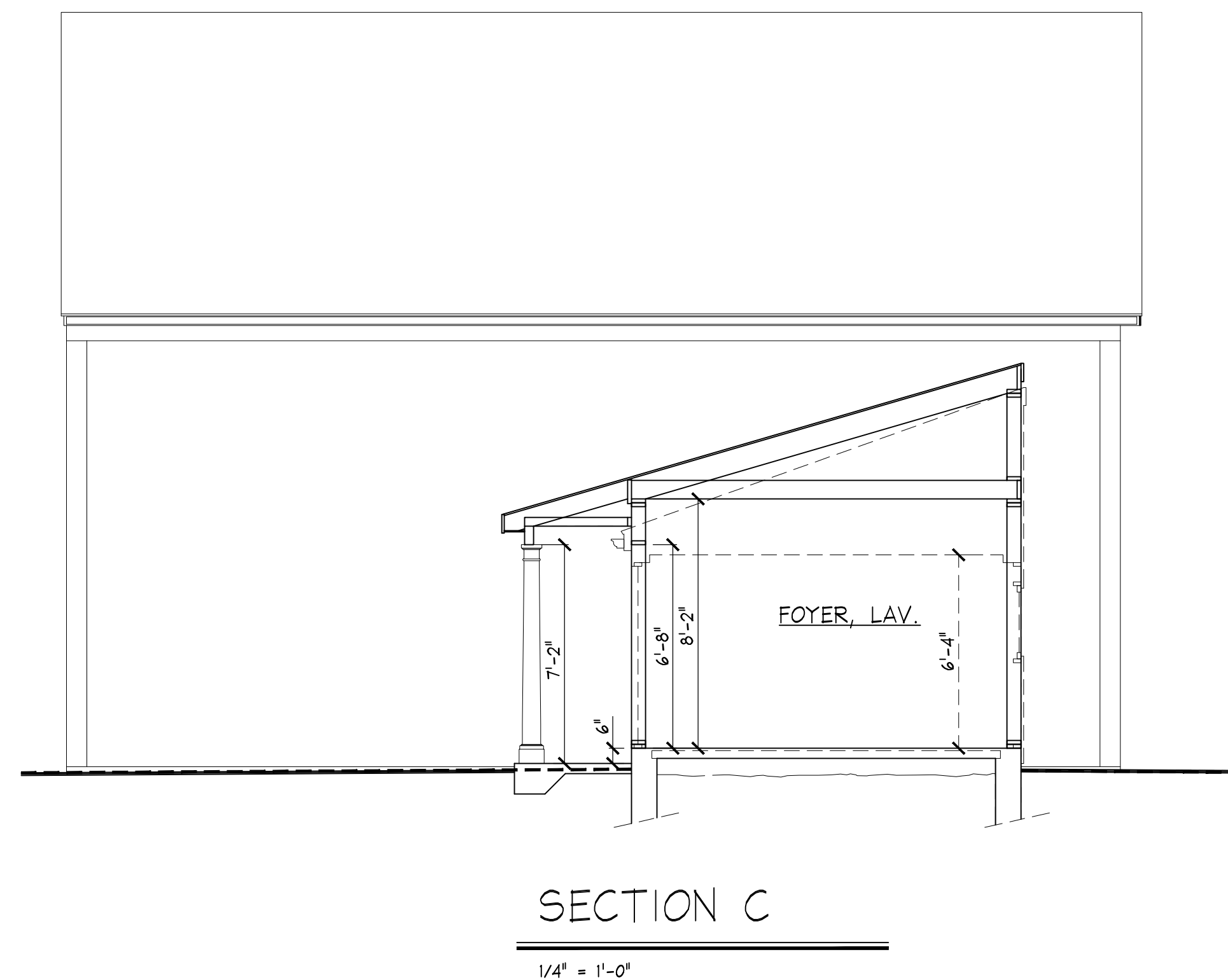
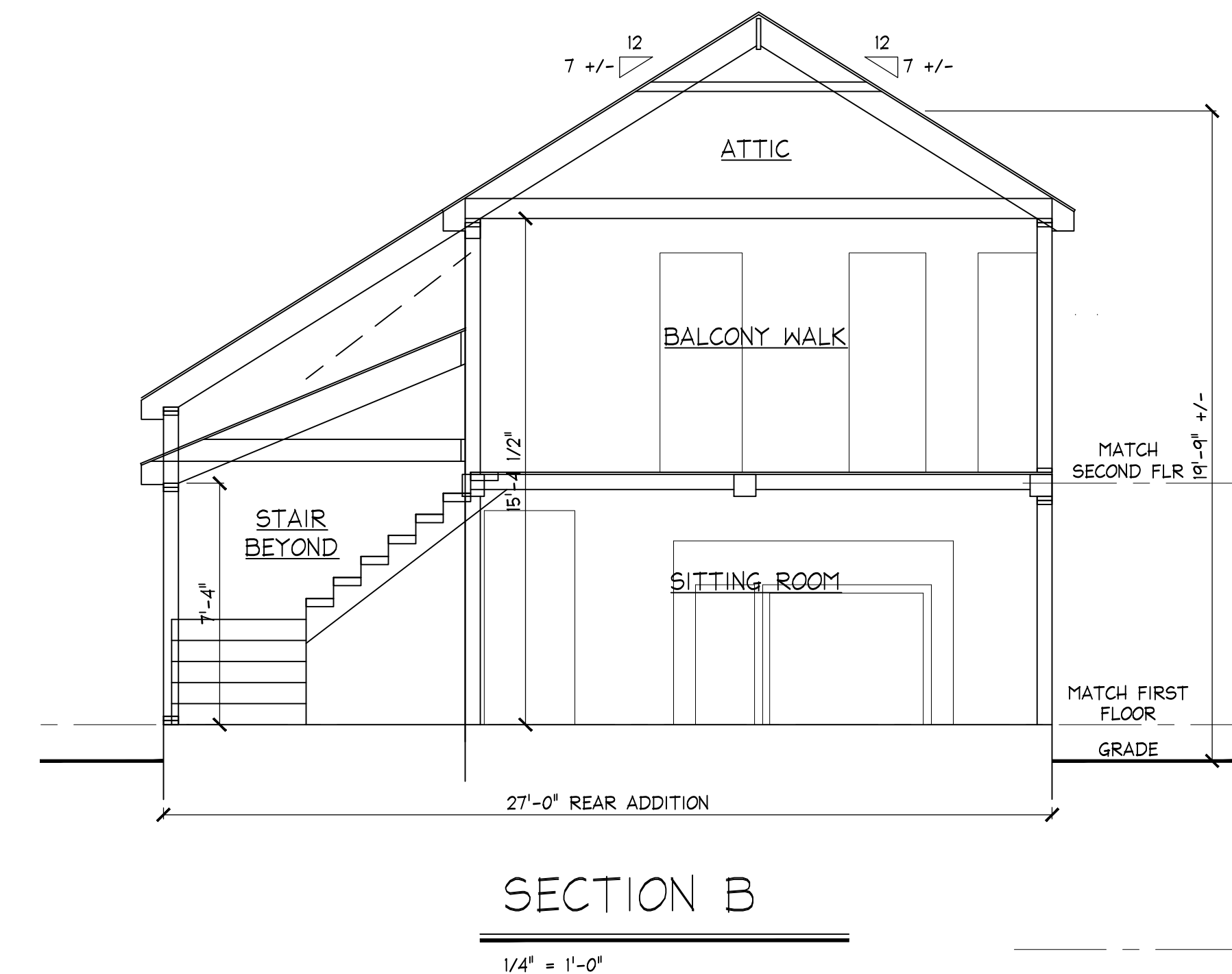
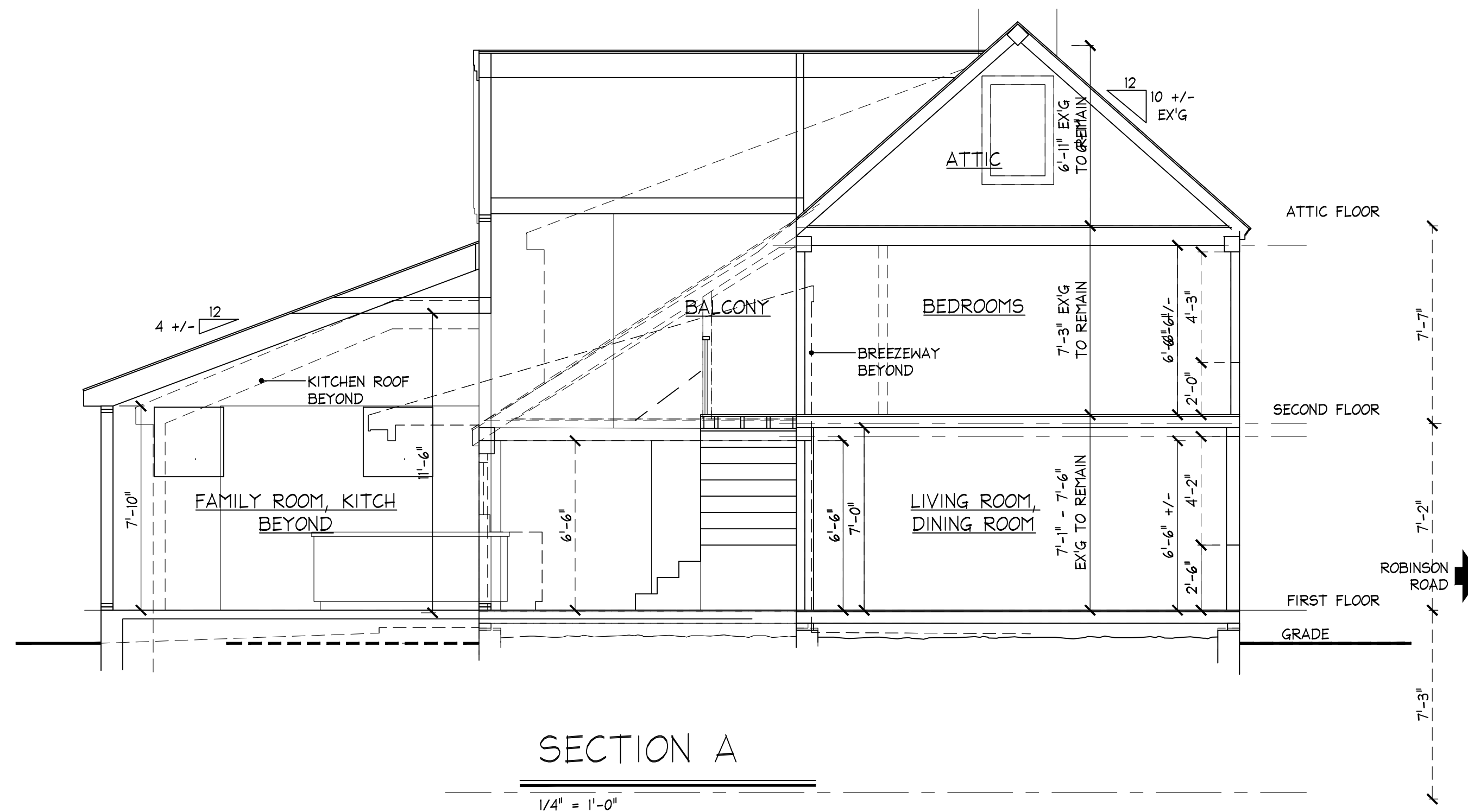
12 Robinson Road, House-Barn
Littleton, MA July 26, 2023

The MZO GROUP
DESIGNERS ■ ARCHITECTS ■ PLANNERS
IN THE *MIQUELLE* TRADITION

335 Main Street, Suite 201 ■ Stoneham, Massachusetts 02180
Voice: 781-279-4446 ■ Fax: 781-279-4448 ■ E-Mail: mzo@mzogroup.com ■ www.mzogroup.com

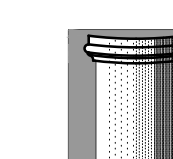
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House-Barn 4 of 5



12 Robinson Road, House-Barn

Littleton, MA July 26, 2023

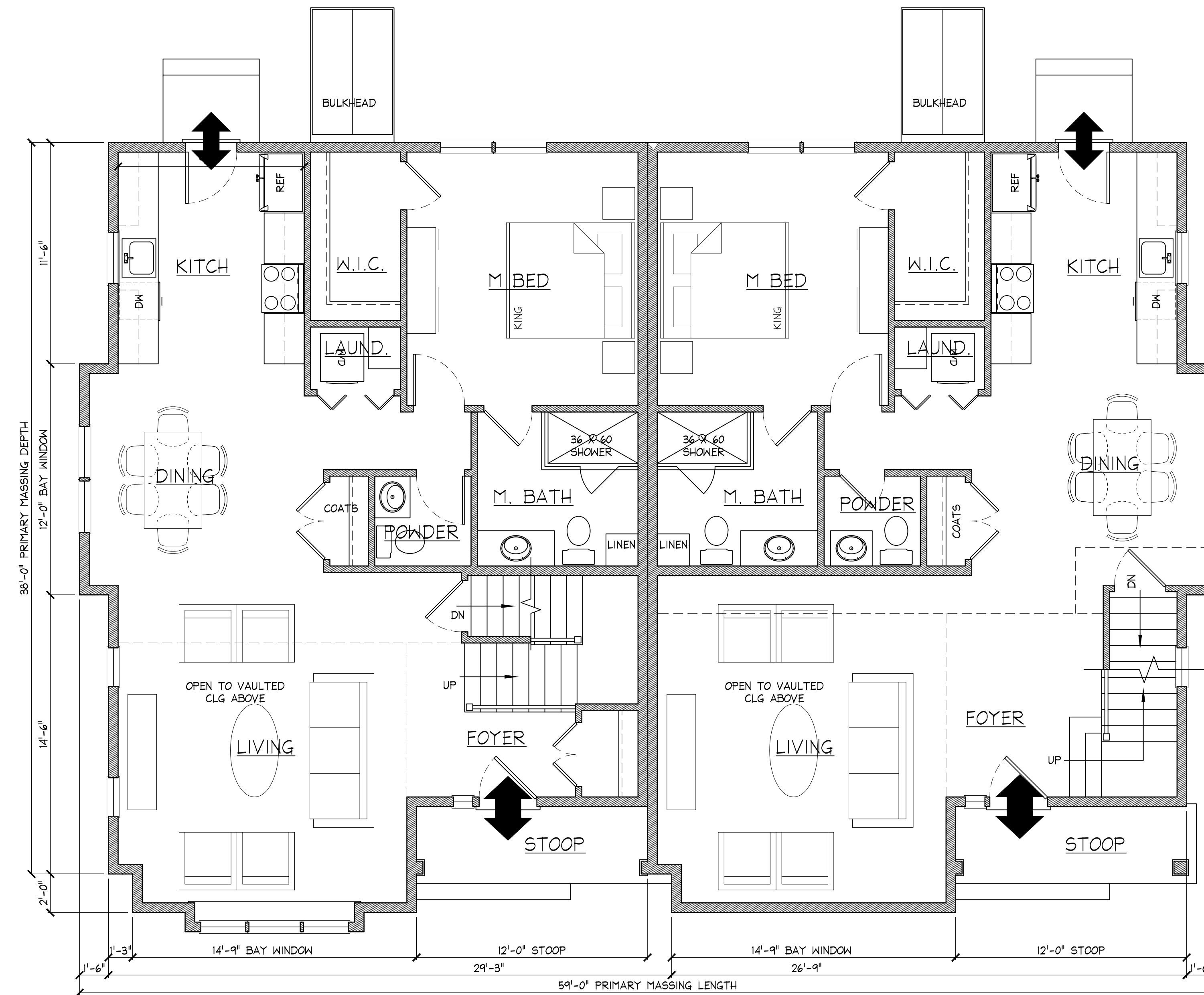
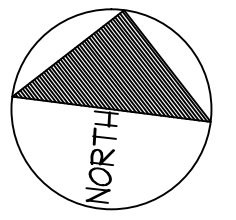


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House-Barn 5 of 5

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UNIT 3
FIRST FLOOR: 1,070 S.F. UNIT TOTAL: 1,623 S.F.
DUPLX FIRST FLOOR PLAN

UNIT 4
FIRST FLOOR: 1,070 S.F. UNIT TOTAL: 1,601 S.F.
BUILDING TOTAL: 2,140 S.F. 1ST FLR + 1,084 S.F. 2ND FLR = TOTAL: 3,224 S.F.

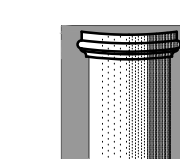
1/4" = 1'-0" FIRST FLOOR: 1,070 S.F. + 1,070 S.F. TOTAL: 2,140 S.F.

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



12 Robinson Road, Duplex

Littleton, MA July 26, 2024

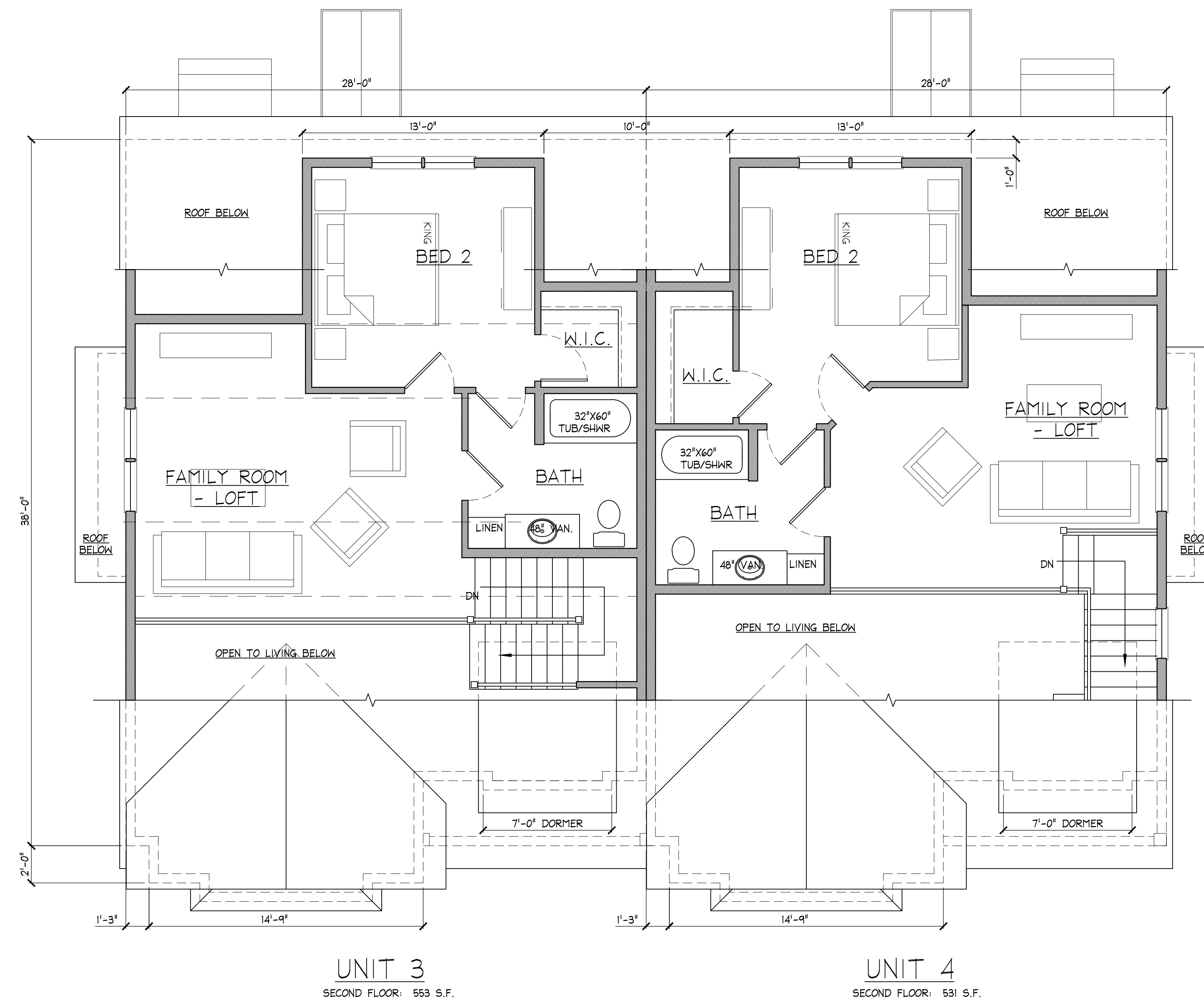


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Duplex 1 of 4

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1/4" = 1'-0" SECOND FLOOR: 553 S.F. + 531 S.F. TOTAL: 1,084 S.F.

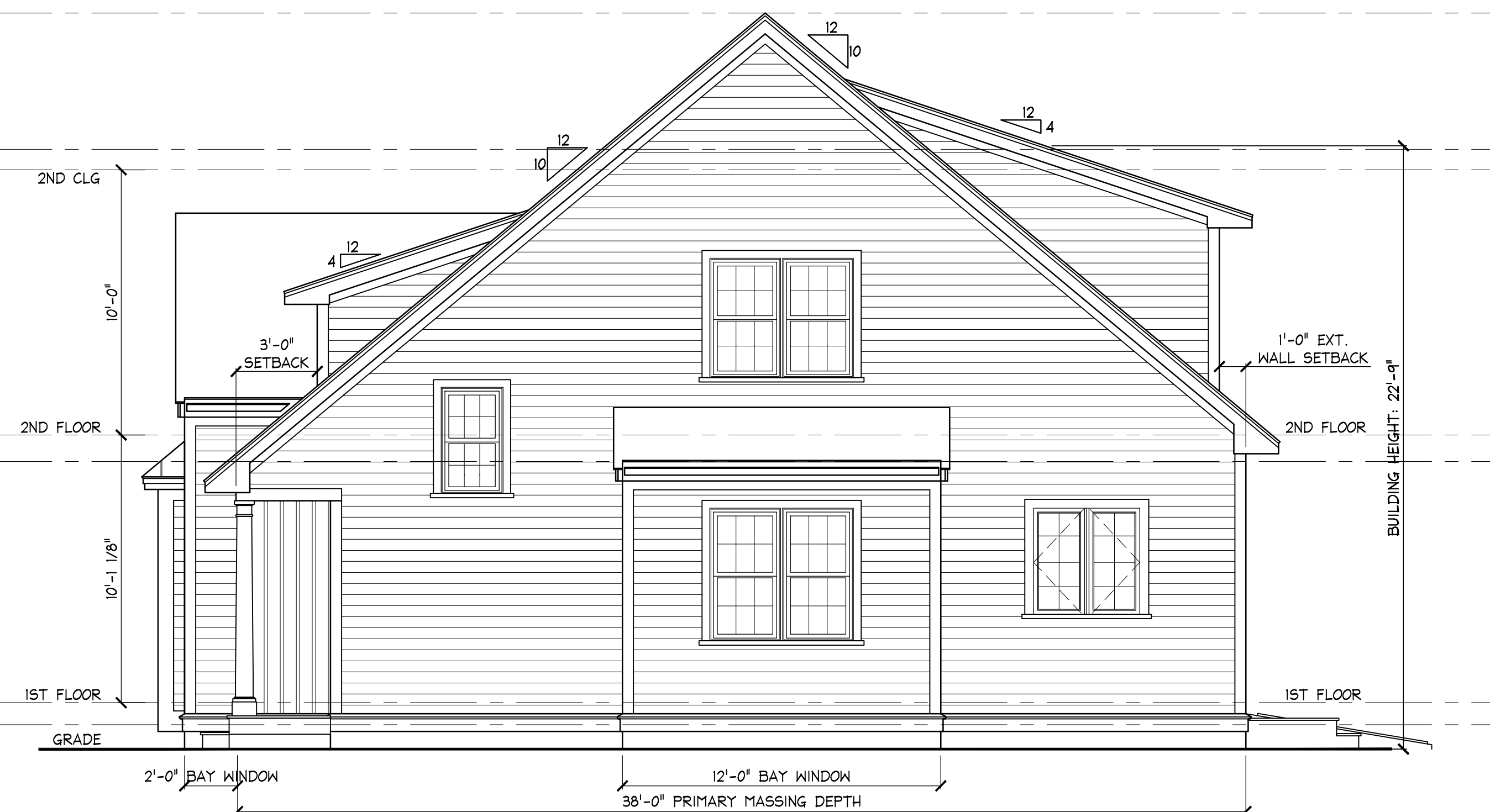


Duplex 2 of 4



FRONT ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



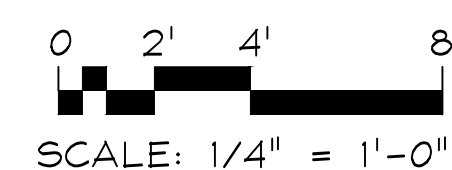
LEFT SIDE ELEVATION

1/4" = 1'-0"



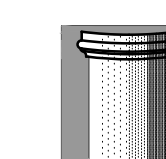
REAR ELEVATION

1/4" = 1'-0"



12 Robinson Road, Duplex

Littleton, MA July 26, 2024

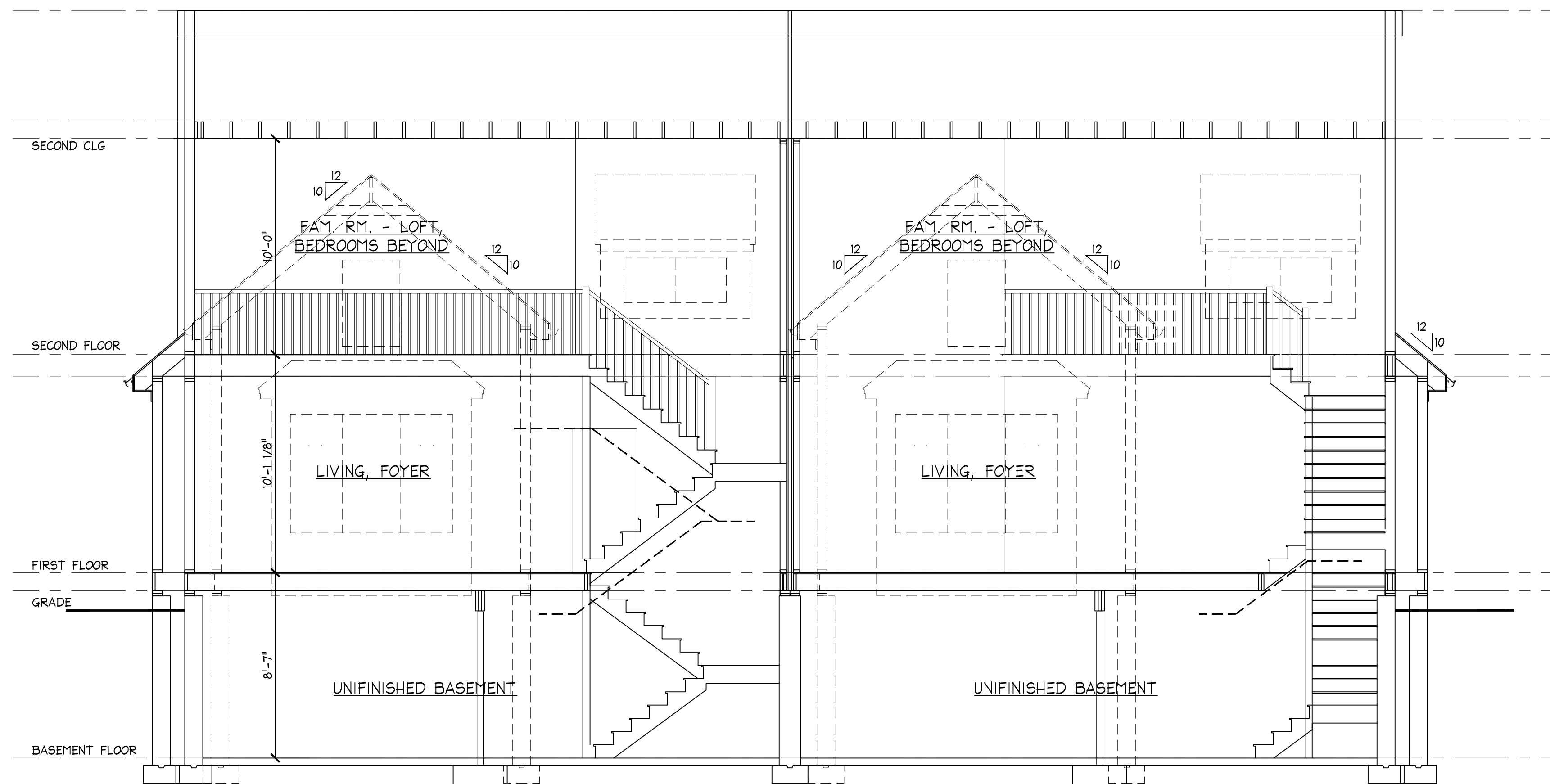


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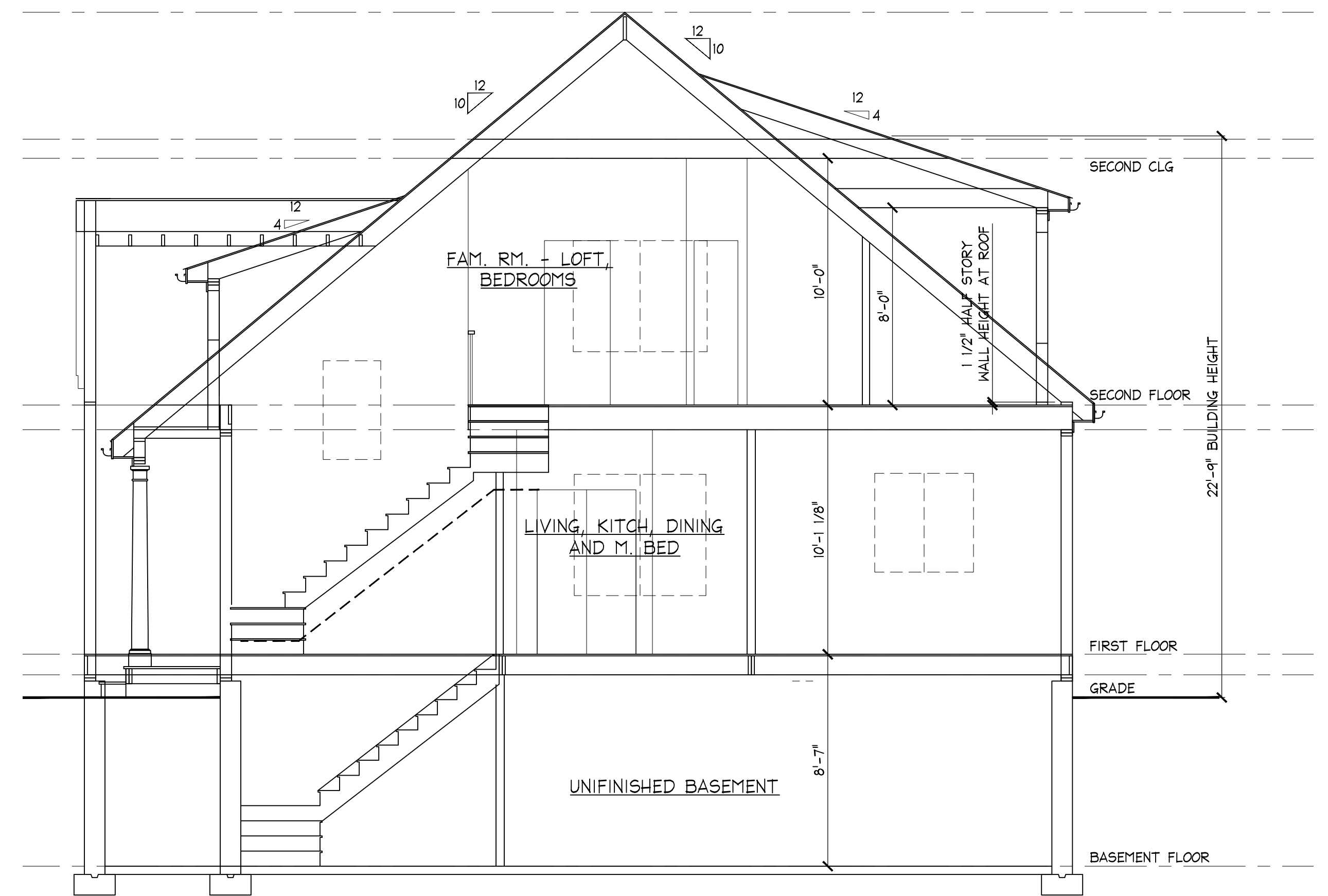
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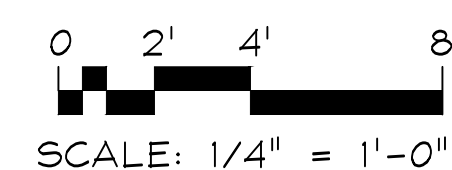
SECTION A

1/4" = 1'-0"



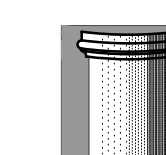
SECTION B

1/4" = 1'-0"



12 Robinson Road, Duplex

Littleton, MA July 26, 2024

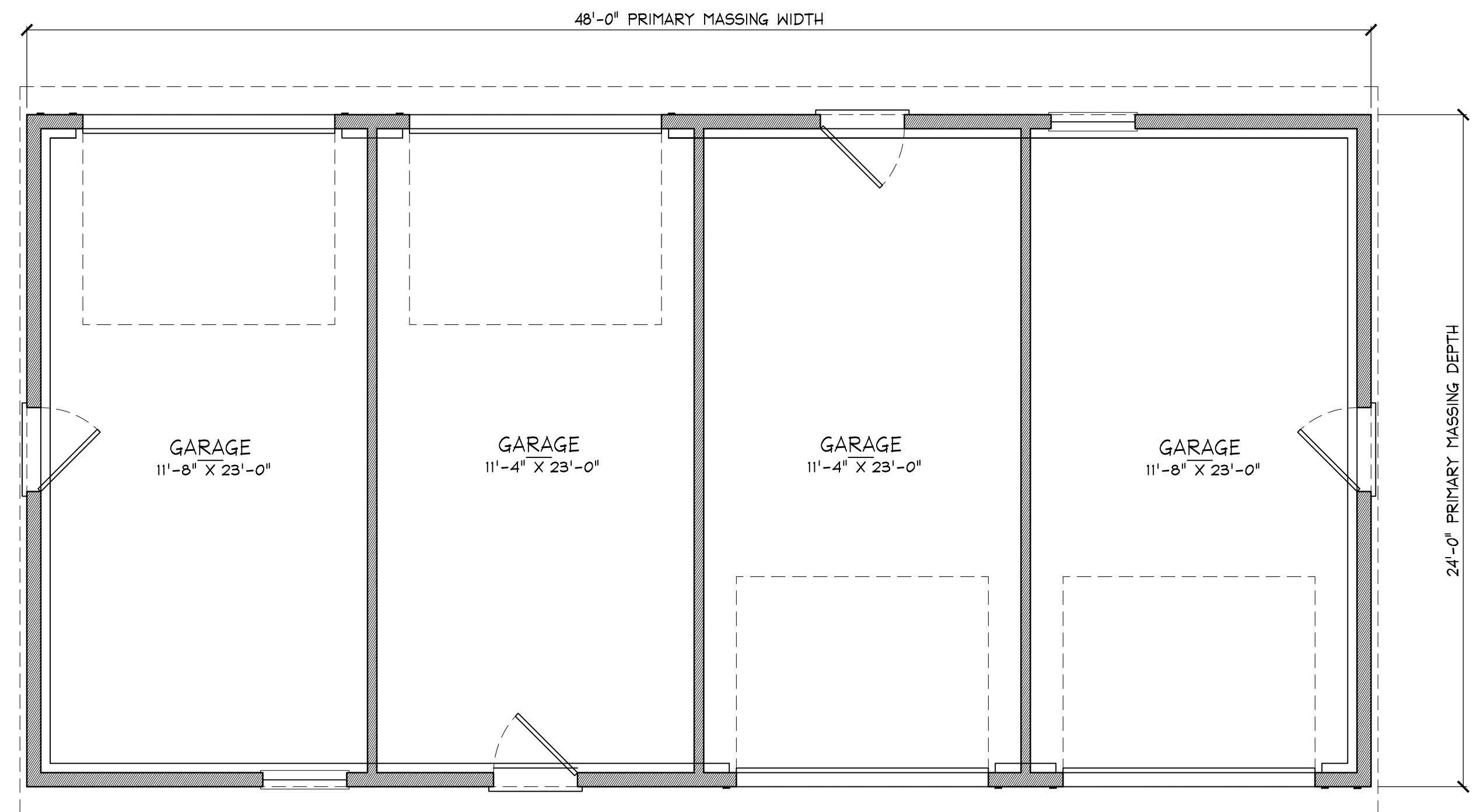


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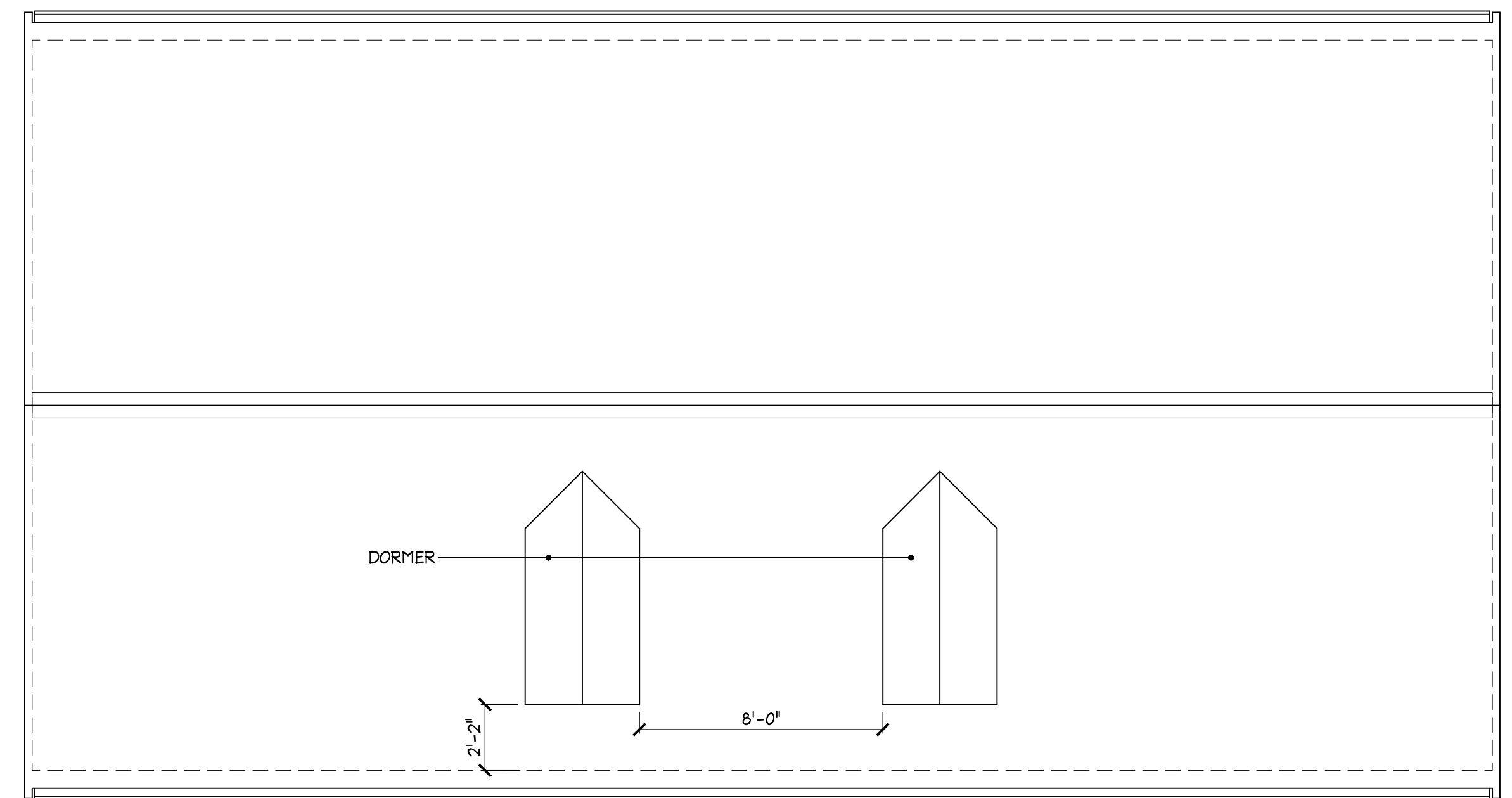
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FLOOR PLAN

1/4" = 1'-0" 1,152 S.F.



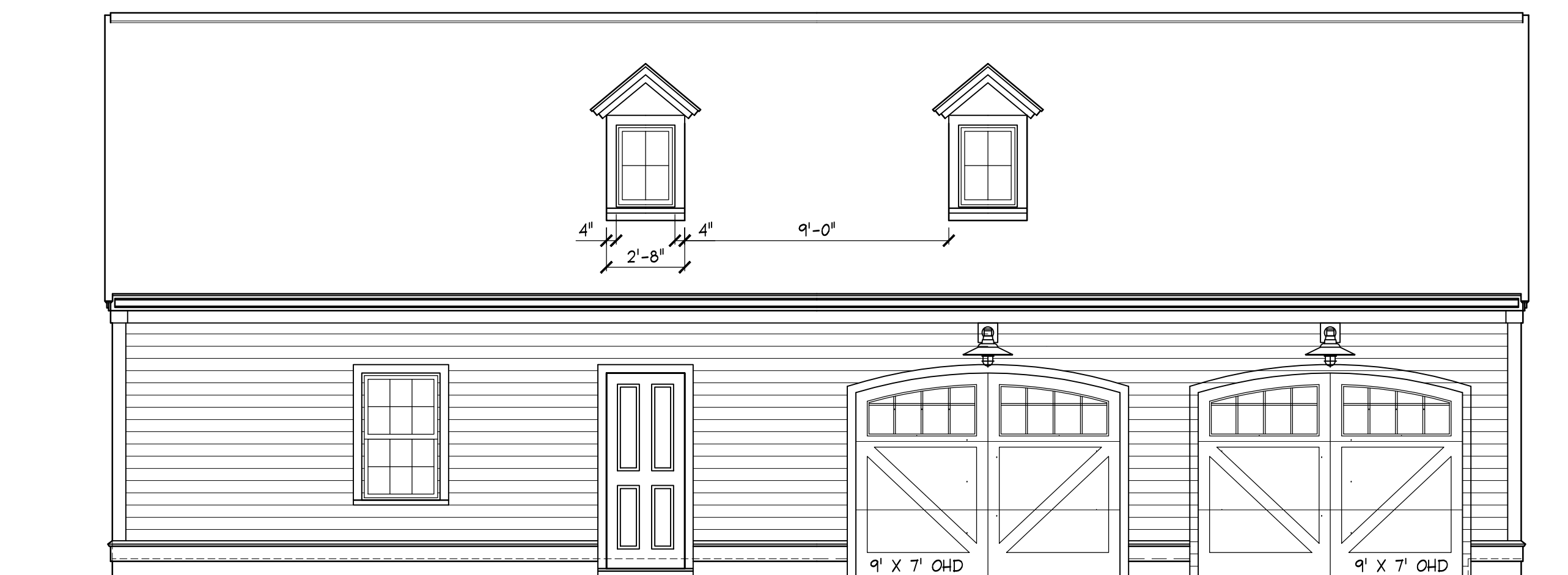
ROOF PLAN

1/4" = 1'-0"



LEFT END ELEVATION

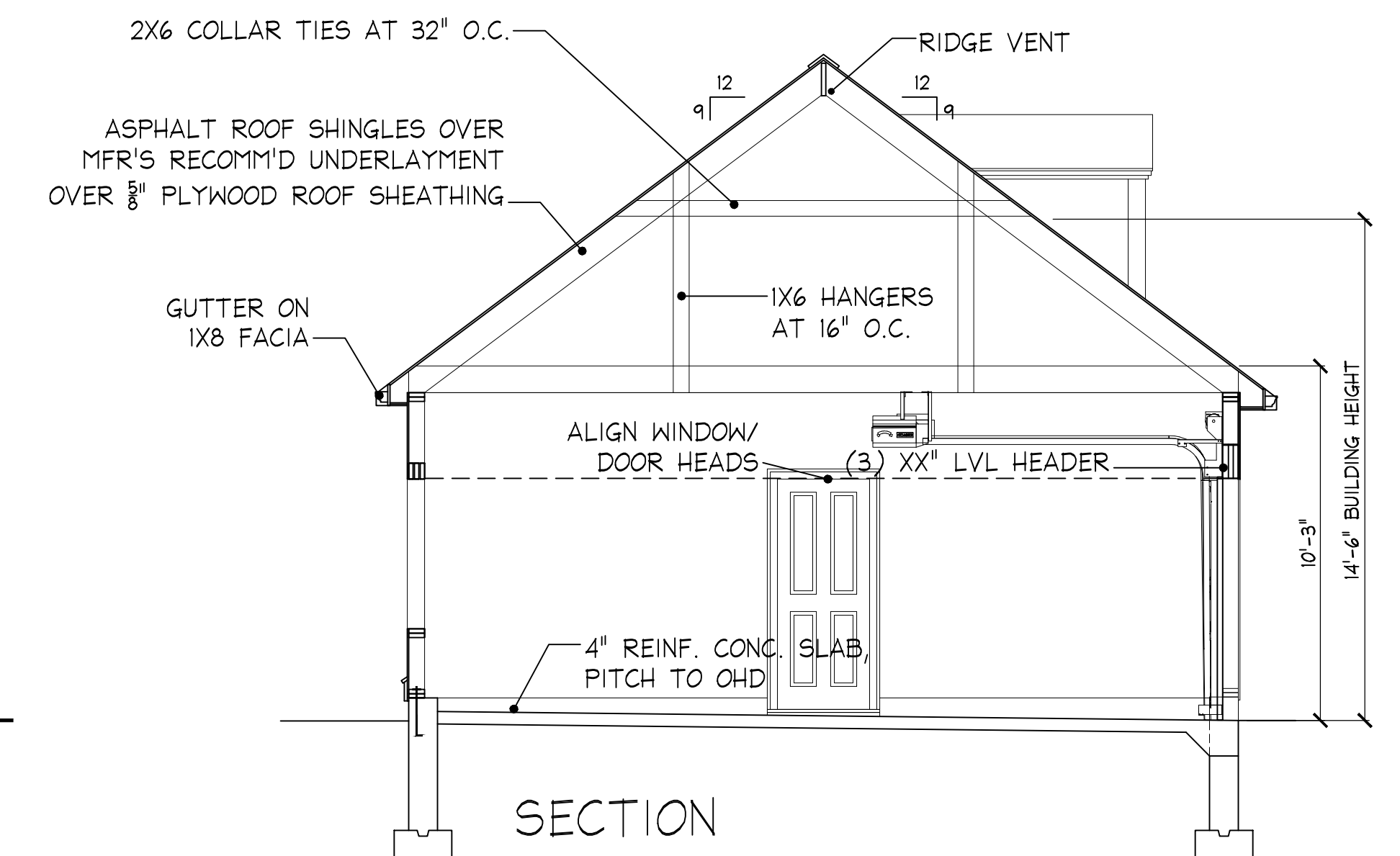
1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

GROUND STORY:
155 SF FENN/
438 SF FACADE
35%



SECTION

1/4" = 1'-0"



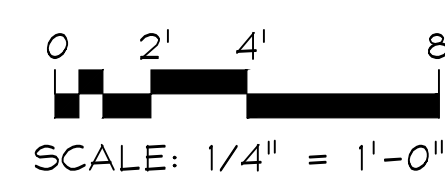
RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



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