

10/27/2023 L:\22256\CURRENT\OUTS\HEETS\22256 - Cover.dwg
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GENERAL NOTES:

1. EXISTING PROPERTY LINES SHOWN ARE BASED ON INFORMATION GATHERED FROM PLAN ENTITLED "EXISTING CONDITIONS SURVEY" BY WSP, USA, INC. CONSULTANTS DATED 03/13/2023 AND MASS MAPPER GIS DATABASE.
2. THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-888-344-7233.
3. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
5. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
8. ALL DESIGN ELEMENTS ARE INTENDED TO MEET THE TOWN OF LITTLETON, MA STANDARDS UNDER CHAPTER 249-25 PRELIMINARY PLAN OF A SUBDIVISION AND ARTICLE IV DESIGN STANDARDS.

SHEET INDEX

SHEET C1	COVER SHEET
SHEET C2.1	LOCUS MAP
SHEET C3.1-3.3	PRELIMINARY SUBDIVISION PLAN 1-3
SHEET C4.1-4.3	PRELIMINARY DRAINAGE PLAN 1-3

LEGEND

EOP	EDGE OF PAVEMENT	□	CONCRETE BOUND WITH DRILL HOLE	---	ABUTTERS LOT LINE
BC	BITUMINOUS CURB	□	CONCRETE BOUND	---	PROPERTY LINE
SRW	STONE RETAINING WALL	⊙	DRILL HOLE FOUND	---	RIGHT OF WAY LINE
SWL	SOLID WHITE LINE	⊙	IRON PIPE FOUND	---	EASEMENT
DLW	DASHED LINE WHITE	□	STONE BOUND WITH DRILL HOLE	○-○-○-○-○-○-○	CHAIN LINK FENCE
RCP	REINFORCED CONCRETE PIPE	■	CATCH BASIN	-x-x-x-x-x-x-x-x-	WOOD FENCE
TOH	TOP OF HOOD	⊙	DRAIN MANHOLE	○-○-○-○-○-○-○-○-○	STONE WALL
INV.	INVERT	⊙	GAS VALVE	~ ~ ~ ~ ~	TREE LINE
(R)	RECORD INFORMATION	⊙	WATER GATE	---284---	INTERMEDIATE CONTOURS
		⊙	FIRE HYDRANT	---285---	INDEX CONTOURS
		⊙	UTILITY POLE	---x---	WETLAND LINE
		⊙	ROCK	○	DRAIN LINE
		⊙	DECIDUOUS TREET	W	WATER LINE
		⊙	SIGN (SINGLE POSTED)	○	GAS LINE
		⊙	POST	---OHW---	OVERHEAD WIRES
		⊙	BOLLARD		



LOCUS MAP
1"=600'

PROJECT TEAM

OWNER
SNS FOSTER
30 HARWOOD AVENUE,
LITTLETON, MA 01460

APPLICANT
SNS FOSTER
30 HARWOOD AVENUE,
LITTLETON, MA 01460

CIVIL ENGINEER
HOWARD STEIN HUDSON
114 TURNPIKE RD
SUITE 2C
CHELMSFORD, MA 01824

SURVEYOR
WSP, USA, INC.
10 AL PAUL LANE, SUITE 103
MERRIMACK, NH 03054

ASSESSORS INFORMATION

ASSESSORS MAP R11 BLOCK 3 LOT 0

REFERENCES

1. EXISTING CONDITIONS ENTITLED "EXISTING CONDITIONS SURVEY" CREATED BY WSP USA INC. DATED MARCH 13, 2023
2. WETLAND RESOURCE AREAS IMPORTED FROM "ALTA/NSPS LAND TITLE SURVEY" CREATED BY ANDRYSICK LAND SURVEYING DATED DECEMBER 3, 2018
3. PLAN OF LAND ENTITLED "PLAN OF LAND 265 FOSTER STREET" CREATED BY ACTON SURVEY & ENGINEERING, INC. DATED MARCH 3, 2009.

ZONING REQUIREMENTS

I-A - INDUSTRIAL A

WATER RESOURCE ZONING OVERLAY DISTRICT
AQUIFER ZONING OVERLAY DISTRICT

POSSIBLE USES INCLUDE, BUT ARE NOT LIMITED TO: FARM, GREENHOUSES, OFFICE, BANK

DIMENSIONAL REQUIREMENTS			
	REQUIREMENT	LOT 1	LOT 2
MINIMUM LOT AREA	N.A.	976,373 SF 22.41 ACRES	468,295 SF 10.75 ACRES
MINIMUM LOT FRONTAGE	N.A.	454 FT	125 FT
MINIMUM STREET SETBACK	80 FT	N.A.	N.A.
MINIMUM SIDE SETBACK*	50 FT (150 FT)	N.A.	N.A.
MINIMUM REAR SETBACK*	50 FT (150 FT)	N.A.	N.A.
MAXIMUM BUILDING HEIGHT	40 FT	0	0
MAXIMUM LOT COVERAGE	80%	0%	0%
MINIMUM LOT SHAPE	0.40	0.66	0.57
LOT PERIMETER	N/A	4,865 FT	3,620 FT
MAXIMUM BUILDING COVERAGE	30%	292,912 SF (ALLOWABLE)	140,489 SF (ALLOWABLE)
MAXIMUM LOT COVERAGE	80%	781,098 SF (ALLOWABLE)	374,636 SF (ALLOWABLE)

*IN AN INDUSTRIAL A DISTRICT, NO BUILDING OR OTHER STRUCTURE SHALL EXTEND NEARER THAN 80 FEET TO A MAIN PUBLIC WAY OR NEARER THAN 50 FEET TO A SIDE OR REAR LOT LINE OR SECONDARY PUBLIC WAY, EXCEPT WHEN THE PUBLIC WAY DIVIDES AN INDUSTRIAL AND RESIDENTIAL DISTRICT, THE SETBACK SHALL BE 150 FEET.



HOWARD STEIN HUDSON

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PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

REVISIONS:

NO	BY	DATE	DESCRIPTION



PRELIMINARY
SUBDIVISION
PLAN

COVER
SHEET

DATE: OCTOBER 27, 2023

PROJECT NUMBER: 22258

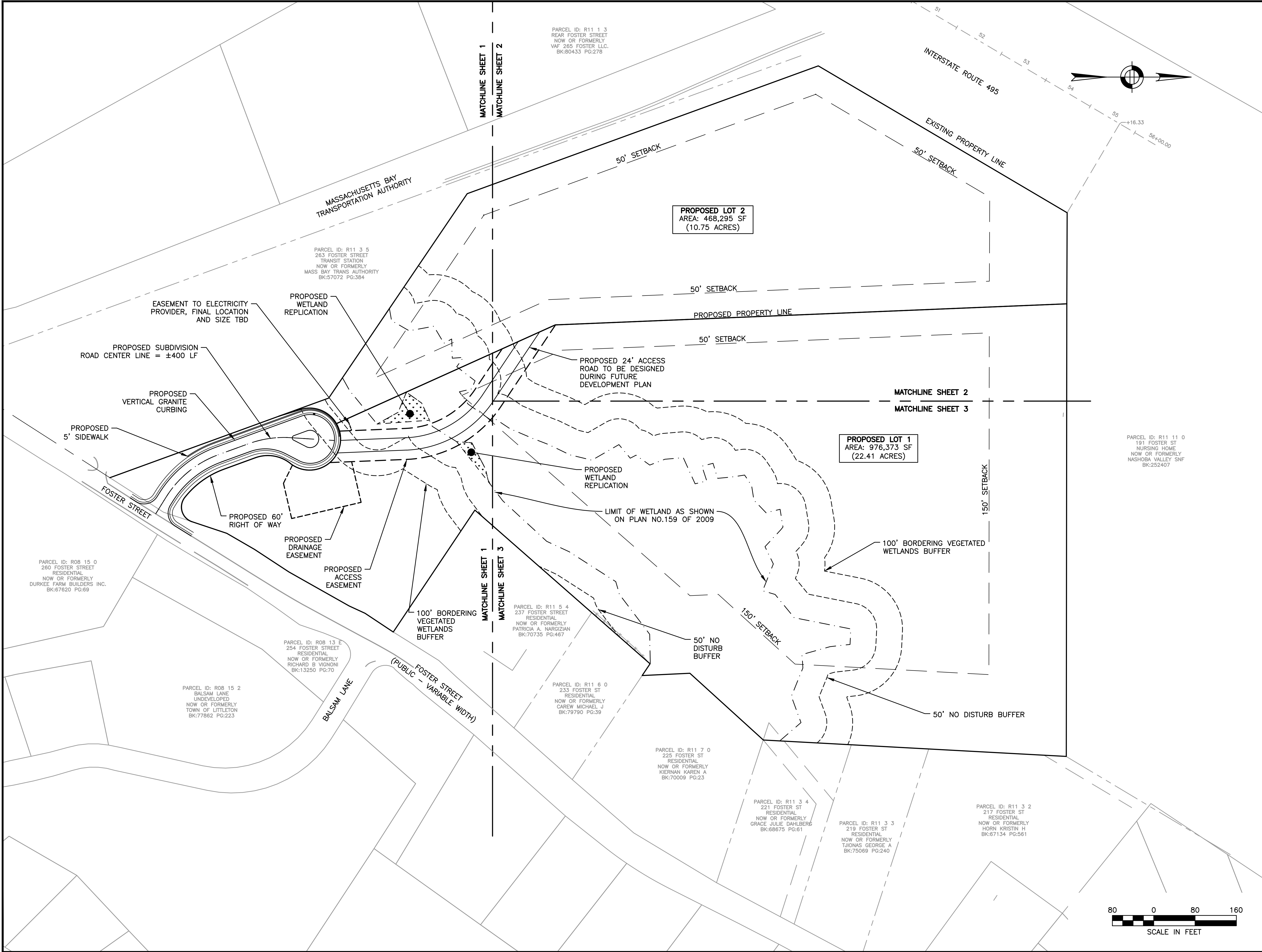
DESIGNED BY: MR,KF

DRAWN BY: MR

CHECKED BY: KE

C.1

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PRELIMINARY
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PLAN

LOCUS
MAP

DATE: OCTOBER 27, 2023

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C2.1

SHEET 2 OF 8

PREPARED FOR:
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30 HARWOOD AVENUE
LITTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

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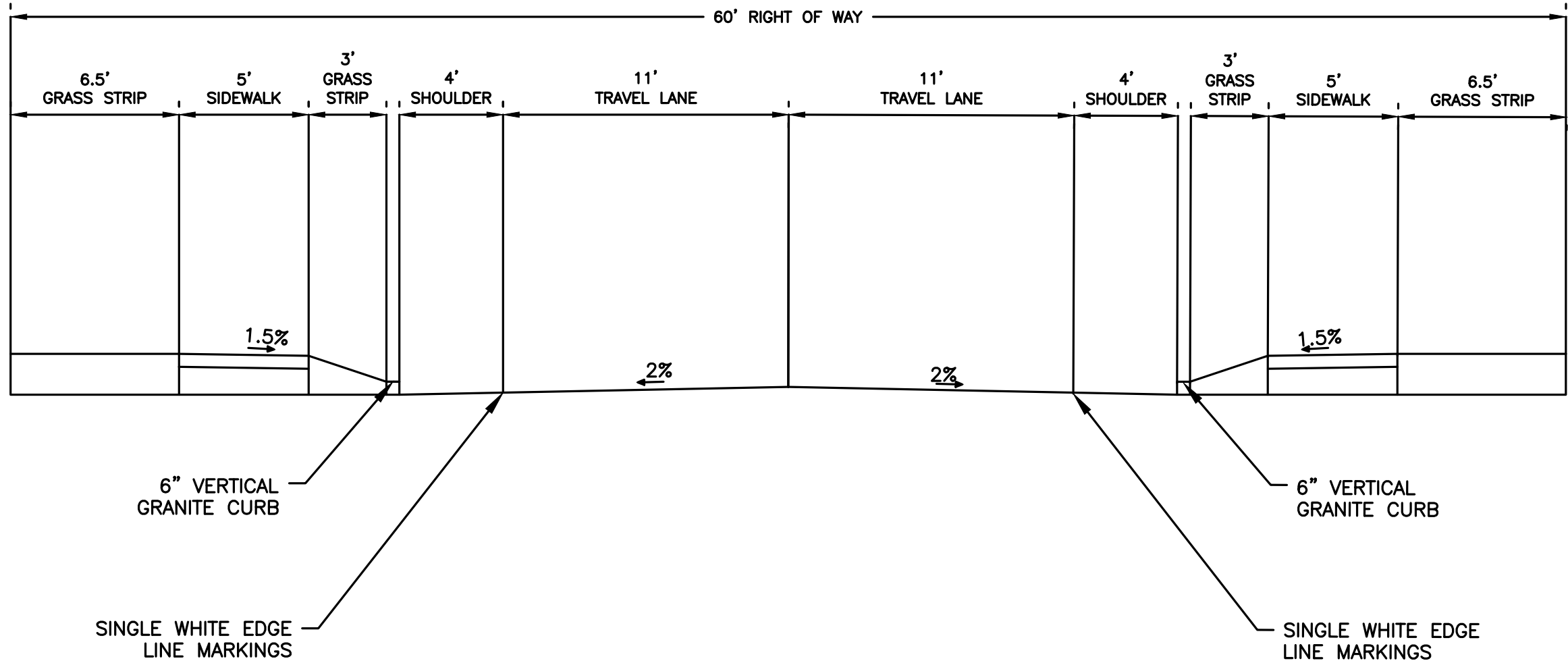
PRELIMINARY
SUBDIVISION
PLAN

**PRELIMINARY
SUBDIVISION PLAN
1 OF 3**

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C3.1

SHEET 3 OF 8

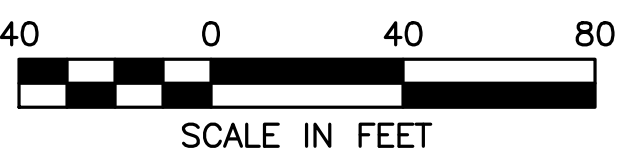
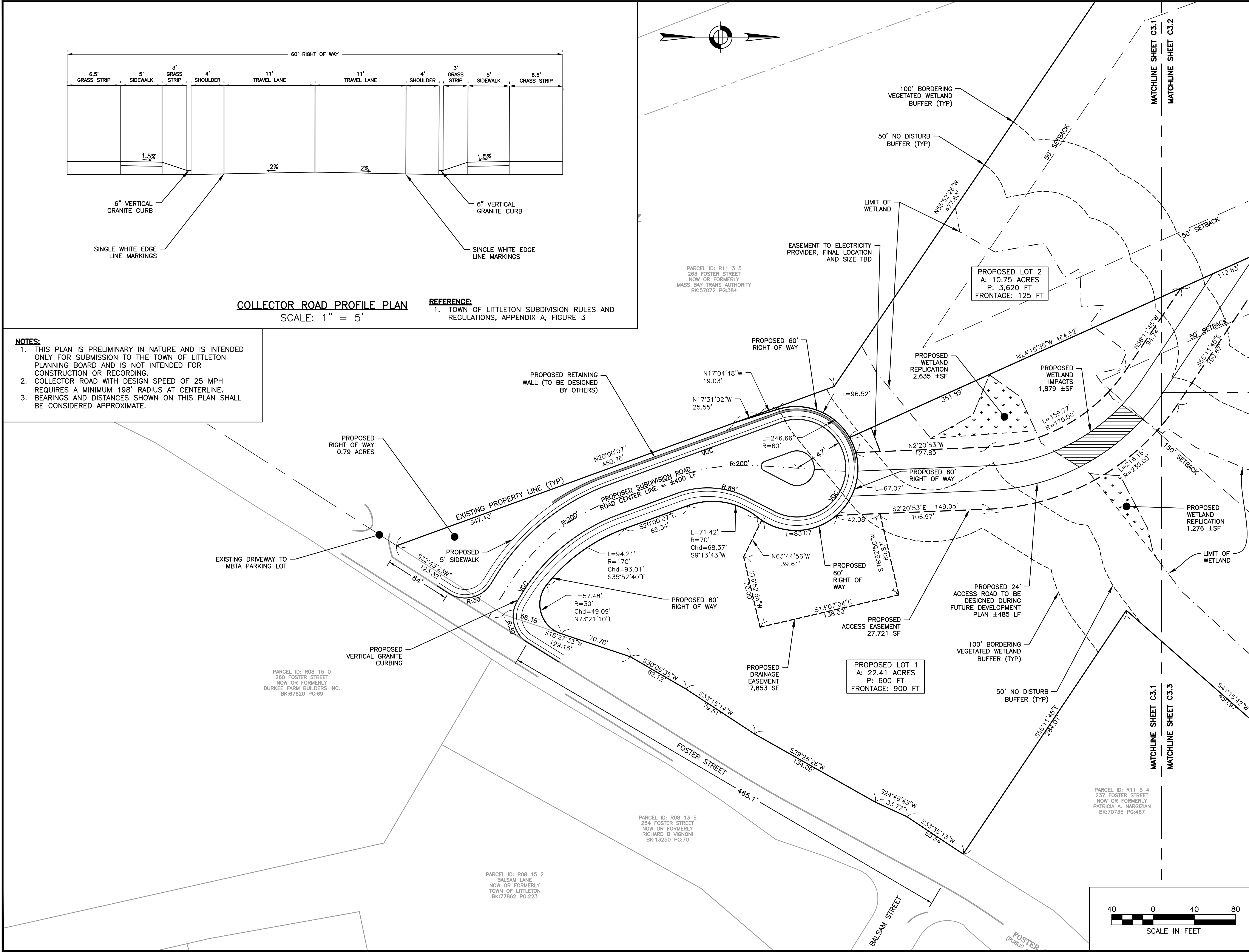


COLLECTOR ROAD PROFILE PLAN
SCALE: 1" = 5'

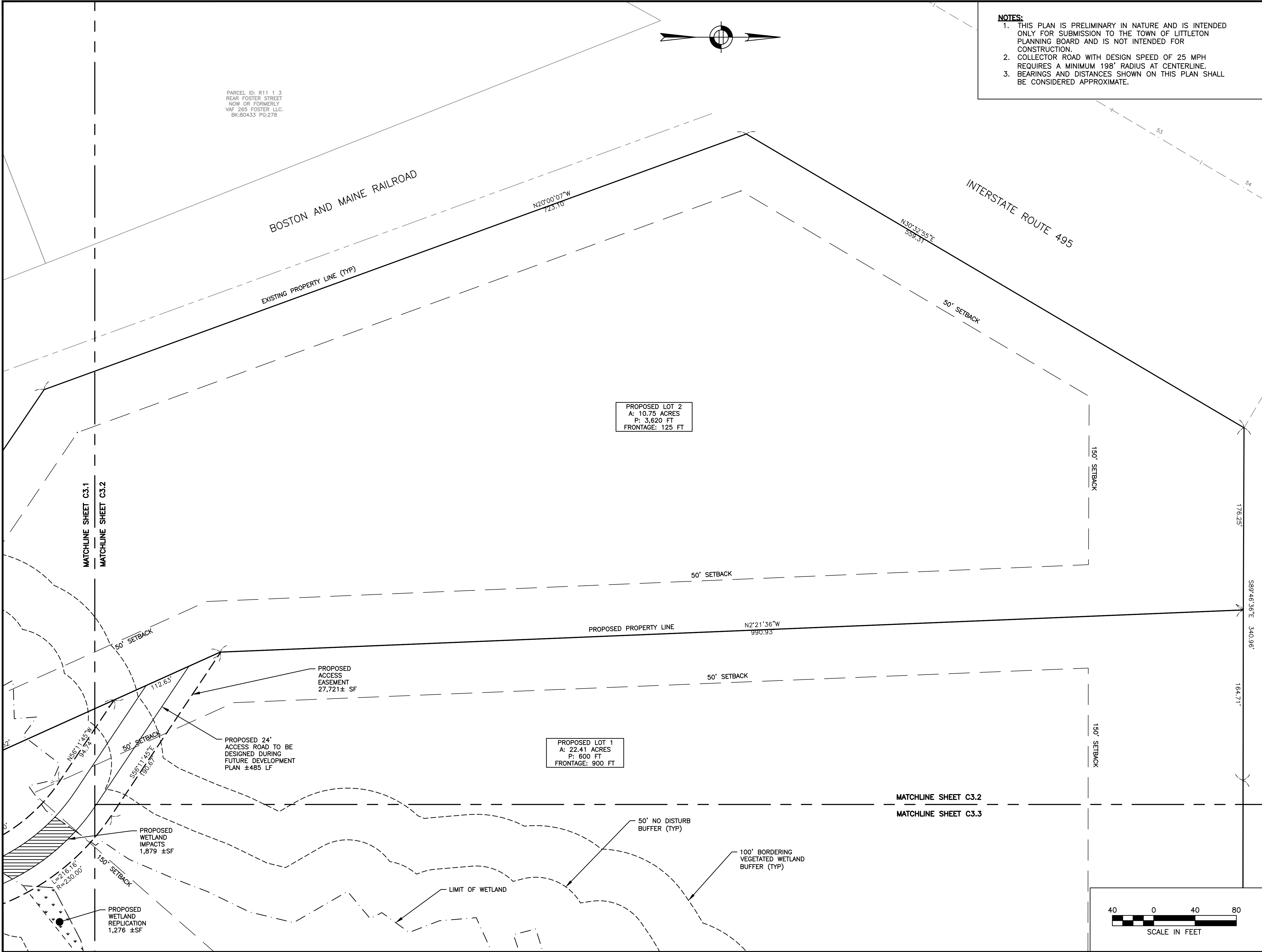
REFERENCE:
1. TOWN OF LITTLETON SUBDIVISION RULES AND REGULATIONS, APPENDIX A, FIGURE 3

NOTES:

- THIS PLAN IS PRELIMINARY IN NATURE AND IS INTENDED ONLY FOR SUBMISSION TO THE TOWN OF LITTLETON PLANNING BOARD AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING.
- COLLECTOR ROAD WITH DESIGN SPEED OF 25 MPH REQUIRES A MINIMUM 198' RADIUS AT CENTERLINE.
- BEARINGS AND DISTANCES SHOWN ON THIS PLAN SHALL BE CONSIDERED APPROXIMATE.



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PRELIMINARY
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**PRELIMINARY
SUBDIVISION PLAN
2 OF 3**

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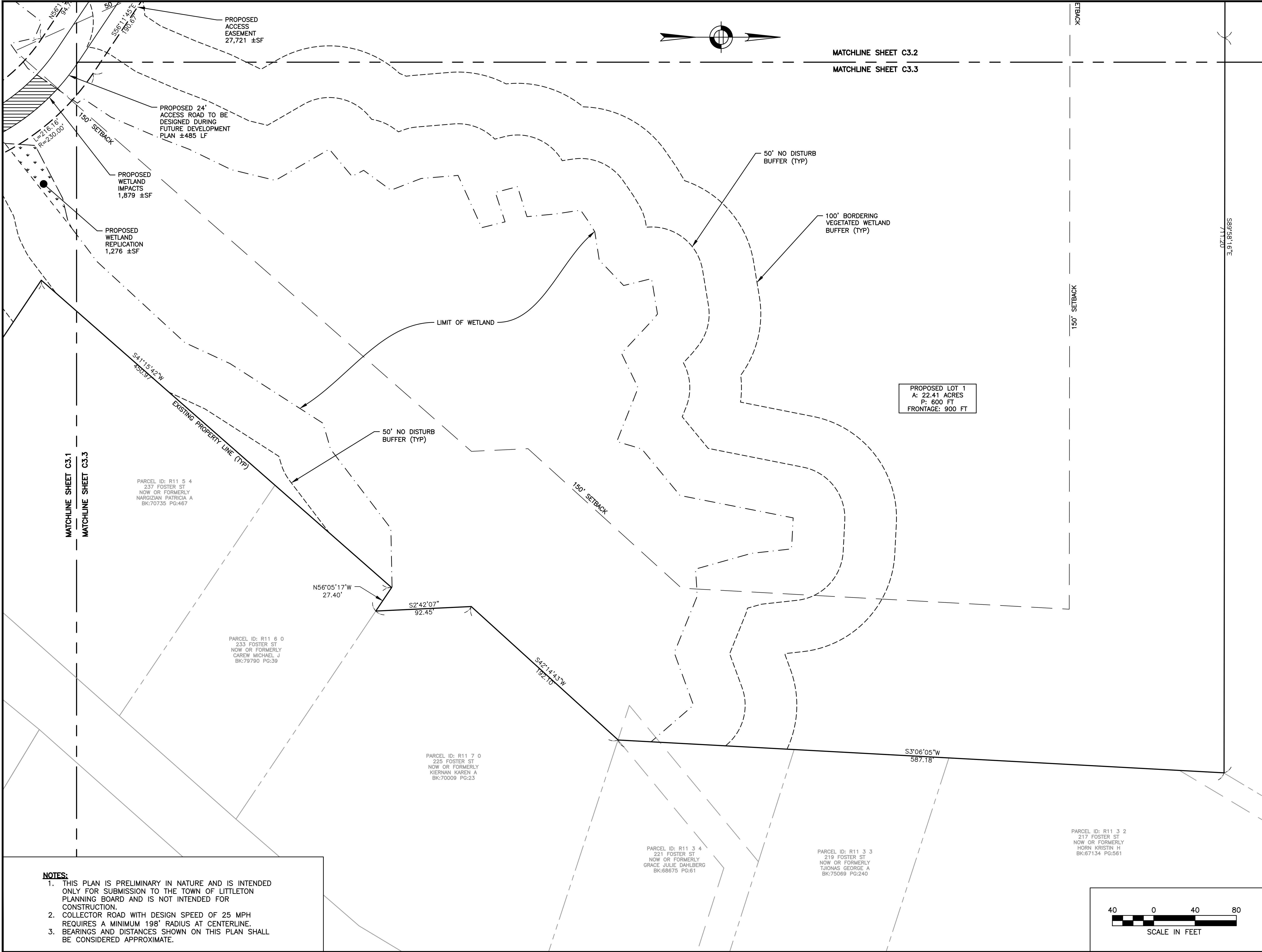
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SHEET 4 OF 8



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PRELIMINARY
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3 OF 3

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C3.3

SHEET 5 OF 8

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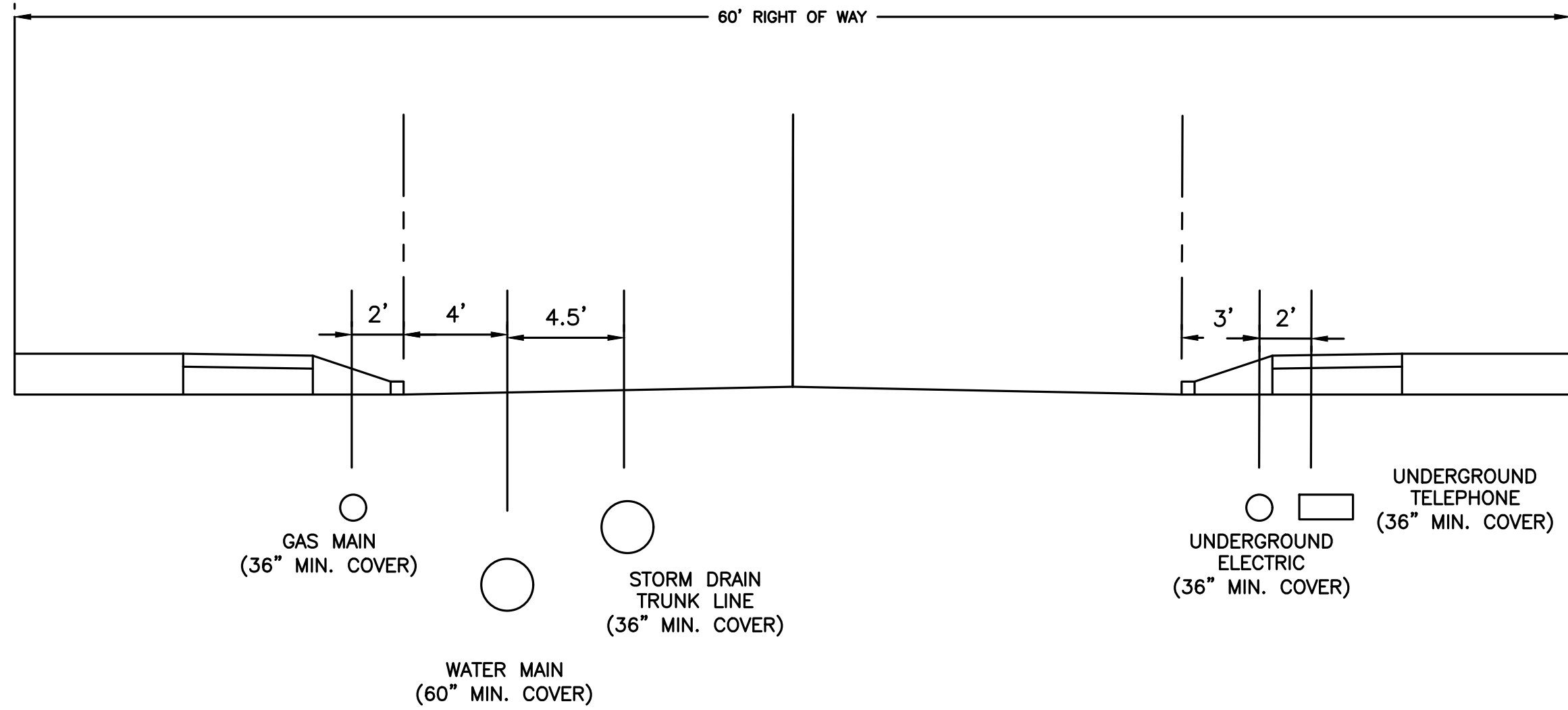
PRELIMINARY
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**PRELIMINARY
GRADING,
DRAINAGE AND
UTILITY PLAN
1 OF 3**

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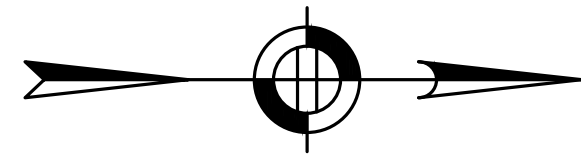
SHEET 6 OF 8



TYPICAL SECTION - ROADWAY UTILITIES

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 4. DRIVEWAY SLOPES INTENDED TO MEET THE STANDARDS OF 249-43 TOWN OF LITTLETON SUBDIVISION OF LAND STREET REQUIREMENTS.
 5. TOTAL WETLAND REPLICATION AREA PROPOSED = 3,966 SF
 6. SEWER IS NOT AVAILABLE WITHIN THIS AREA OF LITTLETON. EACH LOT WILL BE DESIGNED WITH A SEPTIC SYSTEM PER PROPOSED INTENSITY OF USE.





MASSACHUSETTS BAY TRANSPORTATION AUTHORITY

INTERSTATE ROUTE 495

EXISTING PROPERTY LINE (TYP)

EXISTING PROPERTY LINE (TYP)

MATCHLINE SHEET C4.1

MATCHLINE SHEET C4.2

PROPOSED LOT 2
468,295 SF
10.75 ACRES

PROPOSED PROPERTY LINE (TYP)

PROPOSED
ACCESS
EASEMENT
27,721 ±SF

PROPOSED 24'
ACCESS ROAD TO BE
DESIGNED DURING
FUTURE DEVELOPMENT
PLAN ±485 LF

PROPOSED LOT 1
976,373 SF
22.41 ACRES

PROPOSED
WETLAND
IMPACTS
1,879 ±SF

PROPOSED
WETLAND
REPLICATION
1,276 ±SF

LIMIT OF
WETLAND

50' NO DISTURB
BUFFER (TYP)

100' VEGETATED
WETLAND BUFFER
(TYP)

MATCHLINE SHEET C4.2

MATCHLINE SHEET C4.3



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PRELIMINARY
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**PRELIMINARY
GRADING,
DRAINAGE AND
UTILITY PLAN
2 OF 3**

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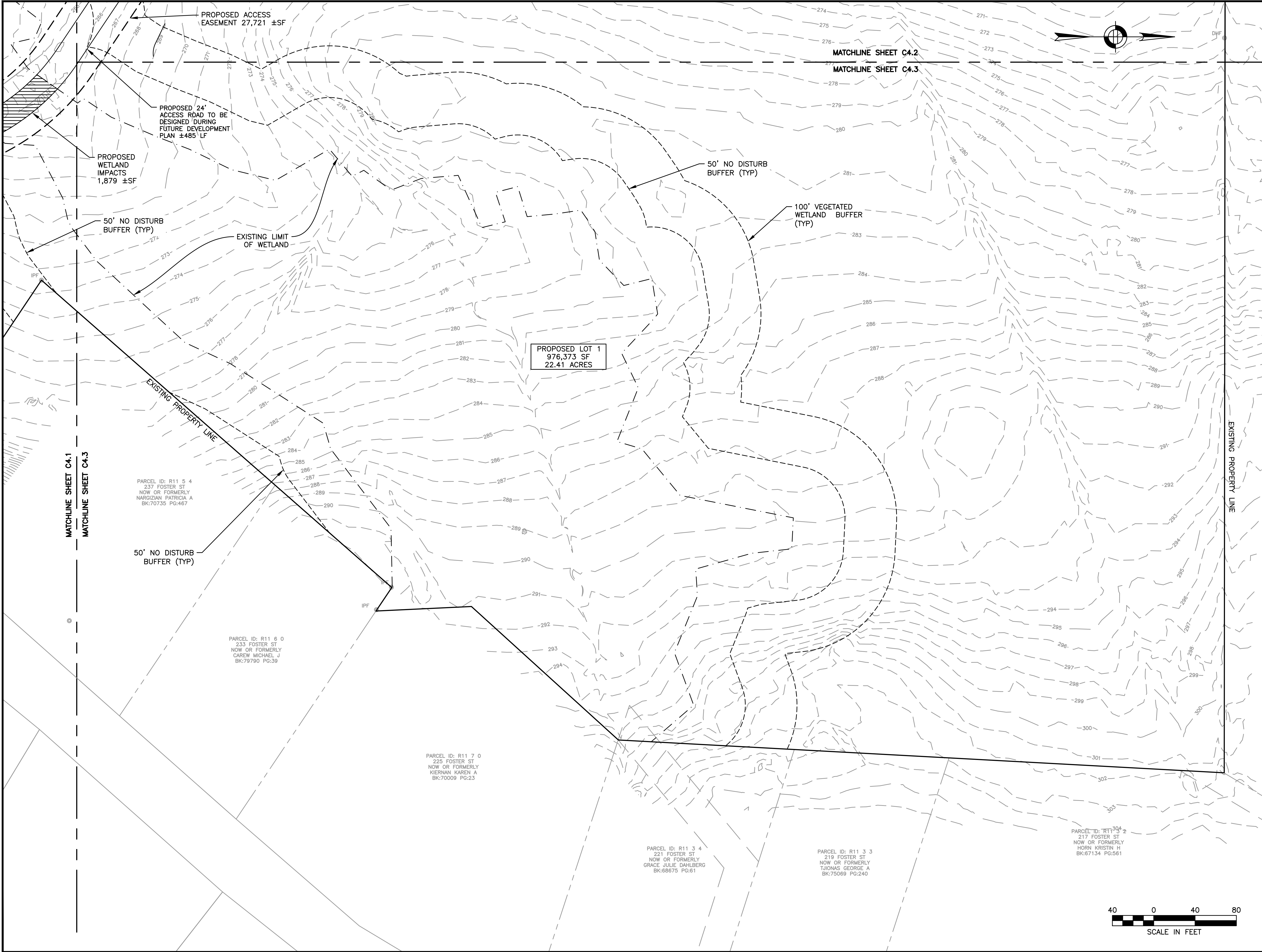
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