

PRELIMINARY SUBDIVISION PLAN

245 FOSTER STREET LITTLETON, MA.

GENERAL NOTES:

- EXISTING PROPERTY LINES SHOWN ARE BASED ON INFORMATION GATHERED FROM PLAN ENTITLED "EXISTING CONDITIONS SURVEY" BY WSP, USA, INC. CONSULTANTS DATED 03/13/2023 AND MASS MAPPER GIS DATABASE.
- THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
- ALL DESIGN ELEMENTS ARE INTENDED TO MEET THE TOWN OF LITTLETON, MA STANDARDS UNDER CHAPTER 249-25 PRELIMINARY PLAN OF A SUBDIVISION AND ARTICLE IV DESIGN STANDARDS.

SHEET INDEX

SHEET C1	COVER SHEET
SHEET C2.1	LOCUS MAP
SHEET C3.1-3.3	PRELIMINARY SUBDIVISION PLAN 1-3
SHEET C4.1-4.3	PRELIMINARY DRAINAGE PLAN 1-3

LEGEND

EOP	EDGE OF PAVEMENT	□ CONCRETE BOUND WITH DRILL HOLE	ABUTTERS LOT LINE
BC	BITUMINOUS CURB	□ CONCRETE BOUND	PROPERTY LINE
SRW	STONE RETAINING WALL	◎ DRILL HOLE FOUND	RIGHT OF WAY LINE
SWL	SOLID WHITE LINE	◎ IRON PIPE FOUND	EASEMENT
DLW	DASHED LINE WHITE	□ STONE BOUND WITH DRILL HOLE	CHAIN LINK FENCE
RCP	REINFORCED CONCRETE PIPE	■ CATCH BASIN	WOOD FENCE
TOH	TOP OF HOOD	◎ DRAIN MANHOLE	STONE WALL
INV.	INVERT	■ GAS VALVE	TREE LINE
(R)	RECORD INFORMATION	■ WATER GATE	INTERMEDIATE CONTOURS
		◎ FIRE HYDRANT	INDEX CONTOURS
		— UTILITY POLE	WETLAND LINE
		◎ ROCK	DRAIN LINE
		◎ DECIDUOUS TREE	WATER LINE
		— SIGN (SINGLE POSTED)	GAS LINE
		○ POST	OVERHEAD WIRES
		■ BOLLARD	



PROJECT TEAM

OWNER
SNS FOSTER
30 HARWOOD AVENUE,
LITTLETON, MA 01460

APPLICANT
SNS FOSTER
30 HARWOOD AVENUE,
LITTLETON, MA 01460

CIVIL ENGINEER
HOWARD STEIN HUDSON
114 TURNPIKE RD
SUITE 2C
CHELMSFORD, MA 01824

SURVEYOR
WSP, USA, INC.
10 AL PAUL LANE, SUITE 103
MERRIMACK, NH 03054

ASSESSORS INFORMATION

ASSESSORS MAP R11 BLOCK 3 LOT 0

REFERENCES

- EXISTING CONDITIONS ENTITLED "EXISTING CONDITIONS SURVEY" CREATED BY WSP USA INC. DATED MARCH 13, 2023
- WETLAND RESOURCE AREAS IMPORTED FROM "ALTA/NSPS LAND TITLE SURVEY" CREATED BY ANDRYSICK LAND SURVEYING DATED DECEMBER 3, 2018
- PLAN OF LAND ENTITLED "PLAN OF LAND 265 FOSTER STREET" CREATED BY ACTON SURVEY & ENGINEERING, INC. DATED MARCH 3, 2009.

ZONING REQUIREMENTS

I-A - INDUSTRIAL A

WATER RESOURCE ZONING OVERLAY DISTRICT
AQUIFER ZONING OVERLAY DISTRICT

POSSIBLE USES INCLUDE, BUT ARE NOT LIMITED TO: FARM, GREENHOUSES, OFFICE, BANK

DIMENSIONAL REQUIREMENTS

	REQUIREMENT	LOT 1	LOT 2
MINIMUM LOT AREA	N.A.	976,373 SF 22.41 ACRES	468,295 SF 10.75 ACRES
MINIMUM LOT FRONTAGE	N.A.	454 FT	125 FT
MINIMUM STREET SETBACK	80 FT	N.A.	N.A.
MINIMUM SIDE SETBACK*	50 FT (150 FT)	N.A.	N.A.
MINIMUM REAR SETBACK*	50 FT (150 FT)	N.A.	N.A.
MAXIMUM BUILDING HEIGHT	40 FT	0	0
MAXIMUM LOT COVERAGE	80%	0%	0%
MINIMUM LOT SHAPE	0.40	0.66	0.57
LOT PERIMETER	N/A	4,865 FT	3,620 FT
MAXIMUM BUILDING COVERAGE	30%	292,912 SF (ALLOWABLE)	140,489 SF (ALLOWABLE)
MAXIMUM LOT COVERAGE	80%	781,098 SF (ALLOWABLE)	374,636 SF (ALLOWABLE)

*IN AN INDUSTRIAL A DISTRICT, NO BUILDING OR OTHER STRUCTURE SHALL EXTEND NEARER THAN 80 FEET TO A MAIN PUBLIC WAY OR NEARER THAN 50 FEET TO A SIDE OR REAR LOT LINE OR SECONDARY PUBLIC WAY, EXCEPT WHEN THE PUBLIC WAY DIVIDES AN INDUSTRIAL AND RESIDENTIAL DISTRICT, THE SETBACK SHALL BE 150 FEET.

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
SNS FOSTER
30 HARWOOD AVENUE
LITTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

REVISIONS:
NO BY DATE DESCRIPTION

PRELIMINARY
SUBDIVISION
PLAN

COVER
SHEET

DATE: OCTOBER 27, 2023
PROJECT NUMBER: 22258
DESIGNED BY: MR,KF
DRAWN BY: MR
CHECKED BY: KE

C.1

Sheet 1 of 8



HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

REARED FOR:
NS FOSTER
D HARWOOD AVENUE
TTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
ETON MA 01460

PRELIMINARY SUBDIVISION PLAN

LOCUS MAP

DATE:	OCTOBER 27, 2023
PROJECT NUMBER:	22258
DESIGNED BY:	MR,KF
DRAWN BY:	MR
CHECKED BY:	KE

C2.1

SHEET 2 OF

PARCEL ID: R11 1 3
REAR FOSTER STREET
NOW OR FORMERLY
VAF 265 FOSTER LLC.
BK:80433 PG:278

PARCEL ID: R11 3 5
263 FOSTER STREET
TRANSIT STATION
NOW OR FORMERLY
MASS BAY TRANS AUTHORITY
BK:57072 PG:384

PARCEL ID: R08 15 0
260 FOSTER STREET
RESIDENTIAL
NOW OR FORMERLY
DURKEE FARM BUILDERS INC.
BK:67620 PG:69

PARCEL ID: R08 13 E
254 FOSTER STREET
RESIDENTIAL
NOW OR FORMERLY
RICHARD B VIGNONI
BK:13250 PG:70

PARCEL ID: R08 15 2
BALSAM LANE
UNDEVELOPED
NOW OR FORMERLY
TOWN OF LITTLETON
BK:77862 PG:223

PARCEL ID: R11 5 4
237 FOSTER STREET
RESIDENTIAL
NOW OR FORMERLY
PATRICIA A. NARGIZIAN
BK:70735 PG:467

PARCEL ID: R11 6 0
233 FOSTER ST
RESIDENTIAL
NOW OR FORMERLY
CAREW MICHAEL J
BK:79790 PG:39

PARCEL ID: R11 7 0
225 FOSTER ST
RESIDENTIAL
NOW OR FORMERLY
KIERAN KAREN A
BK:70009 PG:23

PARCEL ID: R11 3 4
221 FOSTER ST
RESIDENTIAL
NOW OR FORMERLY
GRACE JULIE DAHLBERG
BK:68675 PG:61

PARCEL ID: R11 3 3
219 FOSTER ST
RESIDENTIAL
NOW OR FORMERLY
TJONAS GEORGE A
BK:75069 PG:240

PARCEL ID: R11 3 2
217 FOSTER ST
RESIDENTIAL
NOW OR FORMERLY
HORN KRISTIN H
BK:67134 PG:561

MASSACHUSETTS BAY
TRANSPORTATION AUTHORITY

PROPOSED LOT 2
AREA: 468,295 SF
(10.75 ACRES)

PROPOSED LOT 1
AREA: 976,373 SF
(22.41 ACRES)

FOSTER STREET

BALSAM LANE

(PUBLIC - FOSTER STREET - VARIABLE WIDTH)

5' SETBACK

50' SETBACK

150' SETBACK

EXISTING PROPERTY LINE

INTERSTATE ROUTE 495

51

52

53

54

55

+16.33

56+00.00

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

316

317

318

319

320

321

322

323

324

325

326

327

328

329

330

331

332

333

334

335

336

337

338

339

340

341

342

343

344

345

346

347

348

349

350

351

352

353

354

355

356

357

358

359

360

361

362

363

364

365

366

367

368

369

370

371

372

373

374

375

376

377

378

379

380

381

382

383

384

385

386

387

388

389

390

391

392

393

394

395

396

397

398

399

400

401

402

403

404

405

406

407

408

409

410

411

412

413

414

415

416

417

418

419

420

421

422

423

424

425

426

427

428

429

430

431

432

433

434

435

436

437

438

439

440

441

442

443

444

445

446

447

448

449

450

451

452

453

454

455

456

457

458

459

460

461

462

463

464

465

466

467

468

469

470

471

472

473

474

475

476

477

478

479

480

481

482

483

484

485

486

487

488

489

490

491

492

493

494

495

496

497

498

499

500

501

502

503

504

505

506

507

508

509

510

511

512

513

514

515

516

517

518

519

520

521

522

523

524

525

526

527

528

529

530

531

532

533

534

535

536

537

538

539

540

541

542

543

544

545

546

547

548

549

550

551

552

553

554

555

556

557

558

559

560

561

562

563

564

565

566

567

568

569

570

571

572

573

574

575

576

577

578

579

580

581

582

583

584

585

586

587

588

589

590

591

592

593

594

595

596

597

598

599

600

601

602

603

604

605

606

607

608

609

610

611

612

613

614

615

616

617

618

619

620

621

622

623

624

625

626

627

628

629

630

631

632

633

634

635

636

637

638

639

640

641

642

643

644

645

646

647

648

649

650

651

652

653

654

655

656

657

658

659

660

661

662

663

664

665

666

667

668

669

660

661

662

663

664

665

666

667

668

669

670

671

672

673

674

675

676

677

678

679

680

681

682

683

684

685

686

687

688

689

690

691

692

693

694

695

696

697

698

699

700

701

702

703

704

705

706

707

708

709

710

711

712

713

714

715

716

717

718

719

720

721

722

723

724

725

726

727

728

729

730

731

732

733

734

735

736

737

738

739

740

741

742

743

744

745

746

747

748

749

750

751

752

753

754

755

756

757

758

759

760

761

762

763

764

765

766

767

768

769

760

761

762

763

764

765

766

767

768

769

770

771

772

773

774

775

776

777

778

779

780

781

782

783

784

785

786

787

788

789

790

791

792

793

794

795

796

797

798

799

800

801

802

803

804

805

806

807

808

809

8010

8011

8012

8013

8014

8015

8016

8017

8018

8019

8020

8021

8022

8023

8024

8025

8026

8027

8028

8029

8030

8031

8032

8033

8034

8035

8036

8037

8038

8039

8040

8041

8042

8043

8044

8045

8046

8047

8048

8049

8050

8051

8052

8053

8054

8055

8056

8057

8058

8059

8060

8061

8062

8063

8064

8065

8066

8067

8068

8069

8070

8071

8072

8073

8074

8075

8076

8077

8078

8079

8080

8081

8082

8083

8084

8085

8086



HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PRELIMINARY SUBDIVISION 245 FOSTER STREET LITTLETON, MA, 01460

PREPARED FOR:
SNS FOSTER
30 HARWOOD AVENUE
LITTLETON, MA 01460

REVISIONS:			
NO	BY	DATE	DESCRIPTION



PRELIMINARY SUBDIVISION PLAN

PRELIMINARY SUBDIVISION PLAN 1 OF 3

DATE:	OCTOBER 27, 2023
PROJECT NUMBER:	22258
DESIGNED BY:	MR,KF
DRAWN BY:	MR
CHECKED BY:	KE

C3.1

SHEET 3 OF 8

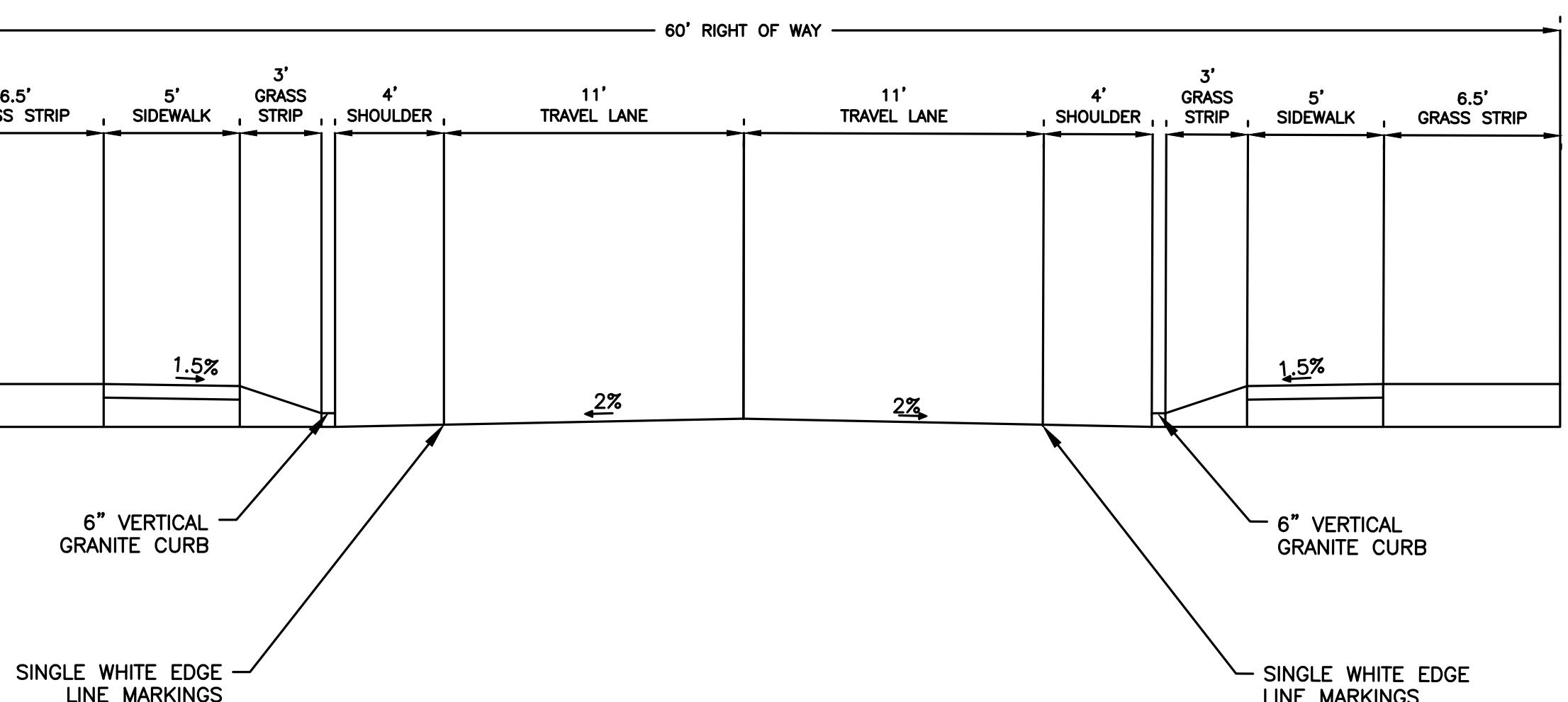
40

0

40

80

SCALE IN FEET



COLLECTOR ROAD PROFILE PLAN

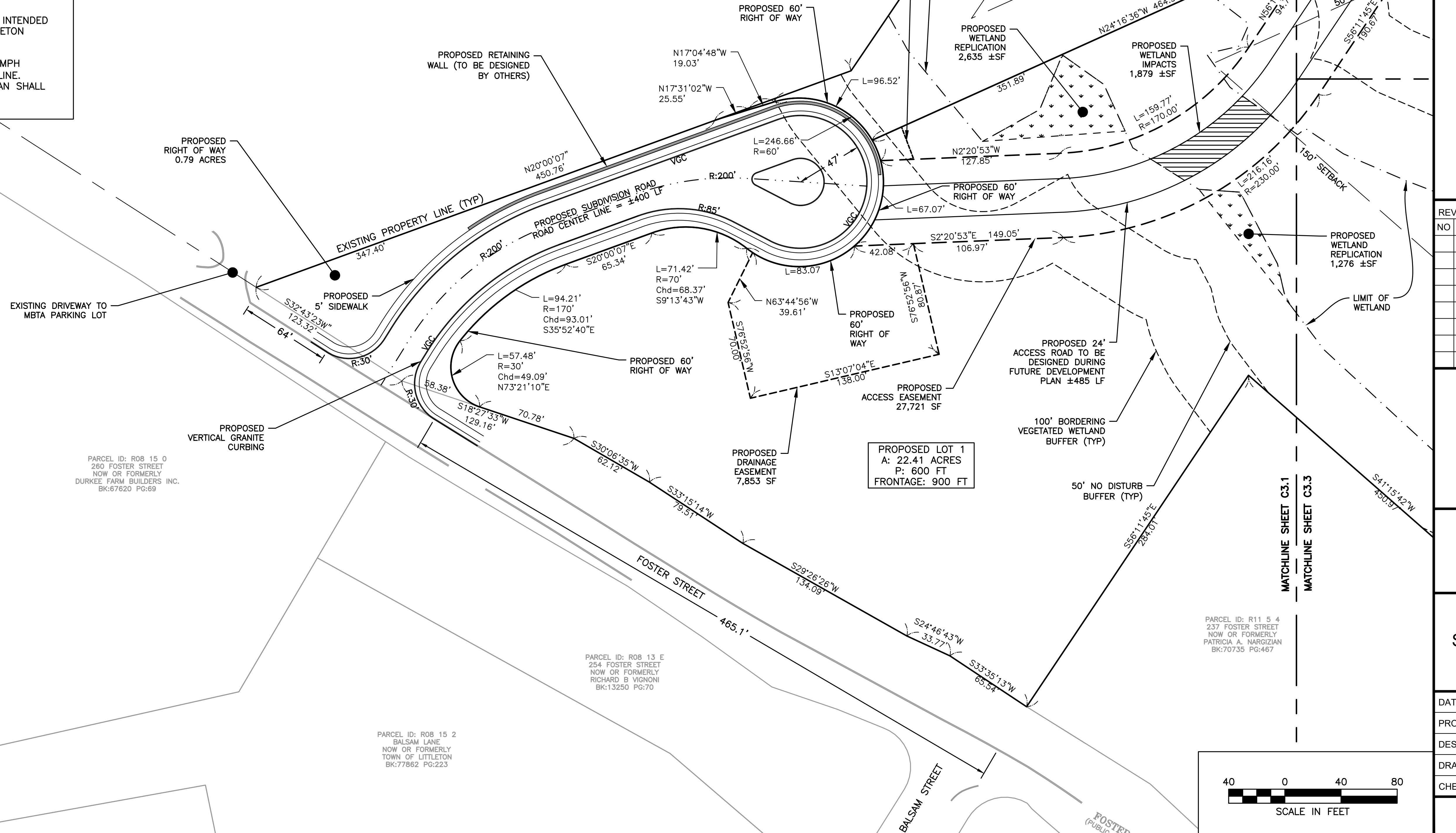
SCALE: 1" = 5'

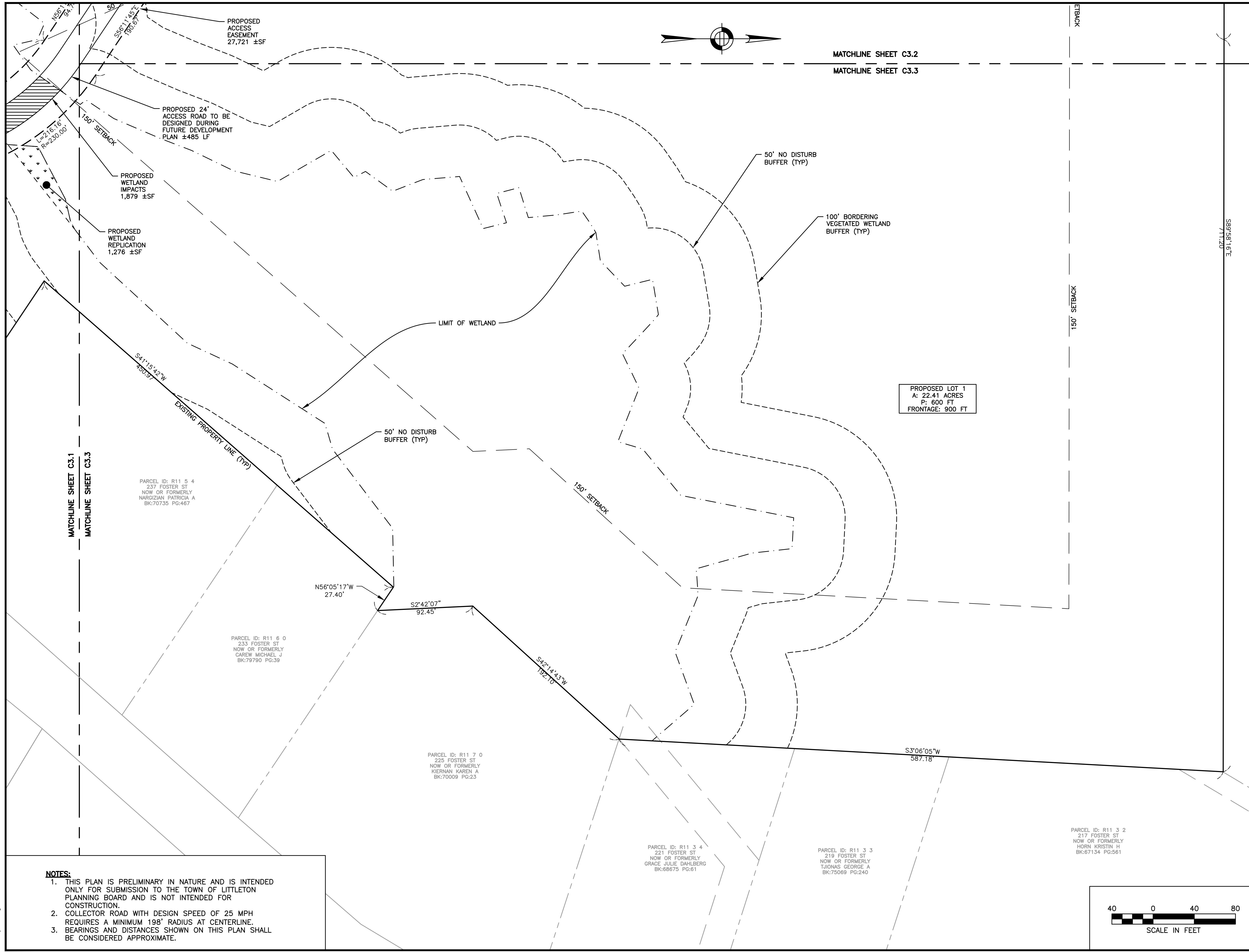
REFERENCE:

1. TOWN OF LITTLETON SUBDIVISION RULES AND REGULATIONS, APPENDIX A, FIGURE 3

NOTES:

1. THIS PLAN IS PRELIMINARY IN NATURE AND IS INTENDED ONLY FOR SUBMISSION TO THE TOWN OF LITTLETON PLANNING BOARD AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING.
2. COLLECTOR ROAD WITH DESIGN SPEED OF 25 MPH REQUIRES A MINIMUM 198' RADIUS AT CENTERLINE.
3. BEARINGS AND DISTANCES SHOWN ON THIS PLAN SHALL BE CONSIDERED APPROXIMATE.





PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

PRELIMINARY SUBDIVISION PLAN

PRELIMINARY SUBDIVISION PLAN 3 OF 3

E: OCTOBER 27, 2023

PROJECT NUMBER: 22258

SIGNED BY: MR,KF

AWN BY: MR

RECEIVED BY: KE

C3.3



HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:

SNS FOSTER
30 HARWOOD AVENUE
LITTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

REVISIONS:

NO BY DATE DESCRIPTION



PRELIMINARY
SUBDIVISION
PLAN

PRELIMINARY
GRADING,
DRAINAGE AND
UTILITY PLAN
1 OF 3

DATE: OCTOBER 27, 2023

PROJECT NUMBER: 22258

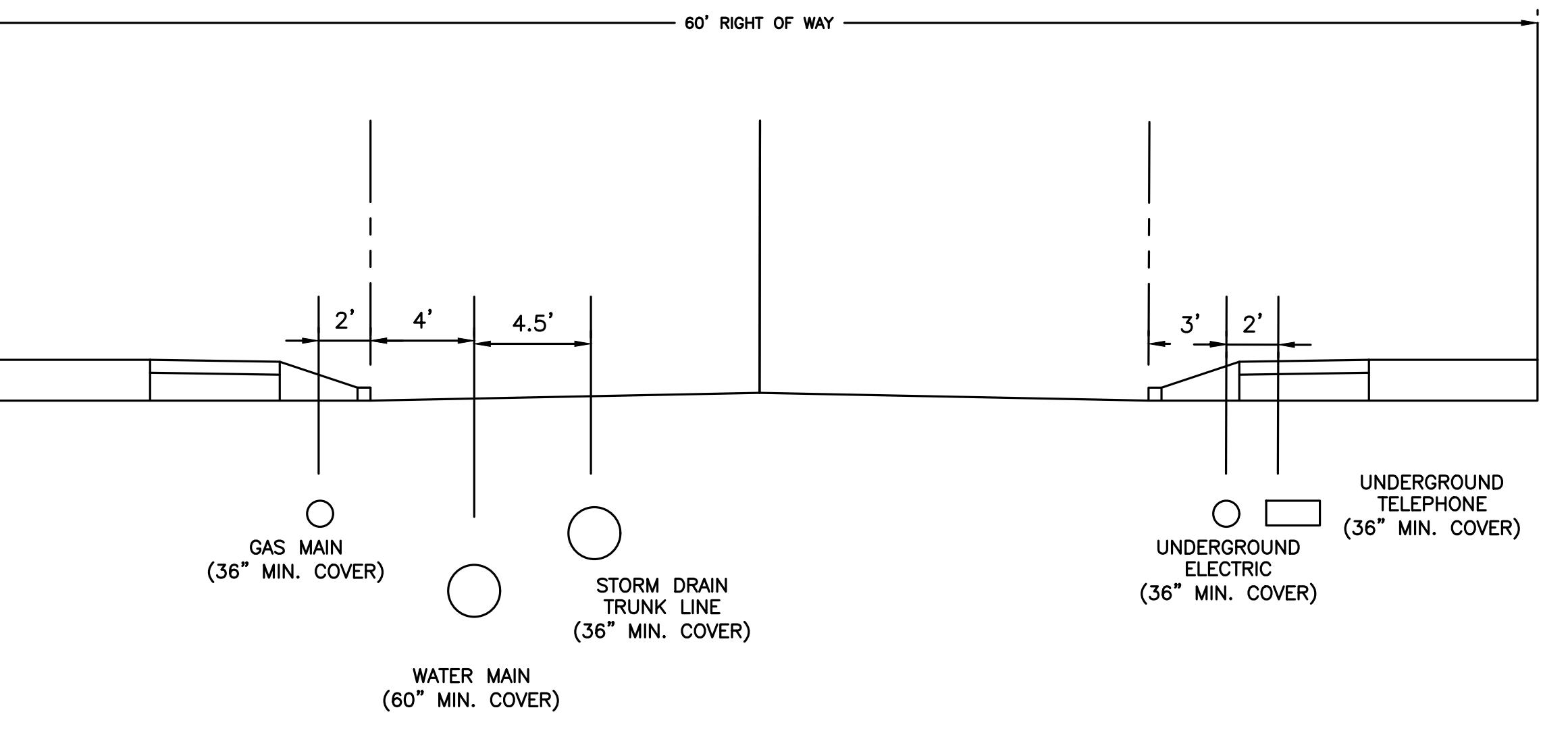
DESIGNED BY: MR,KF

DRAWN BY: MR

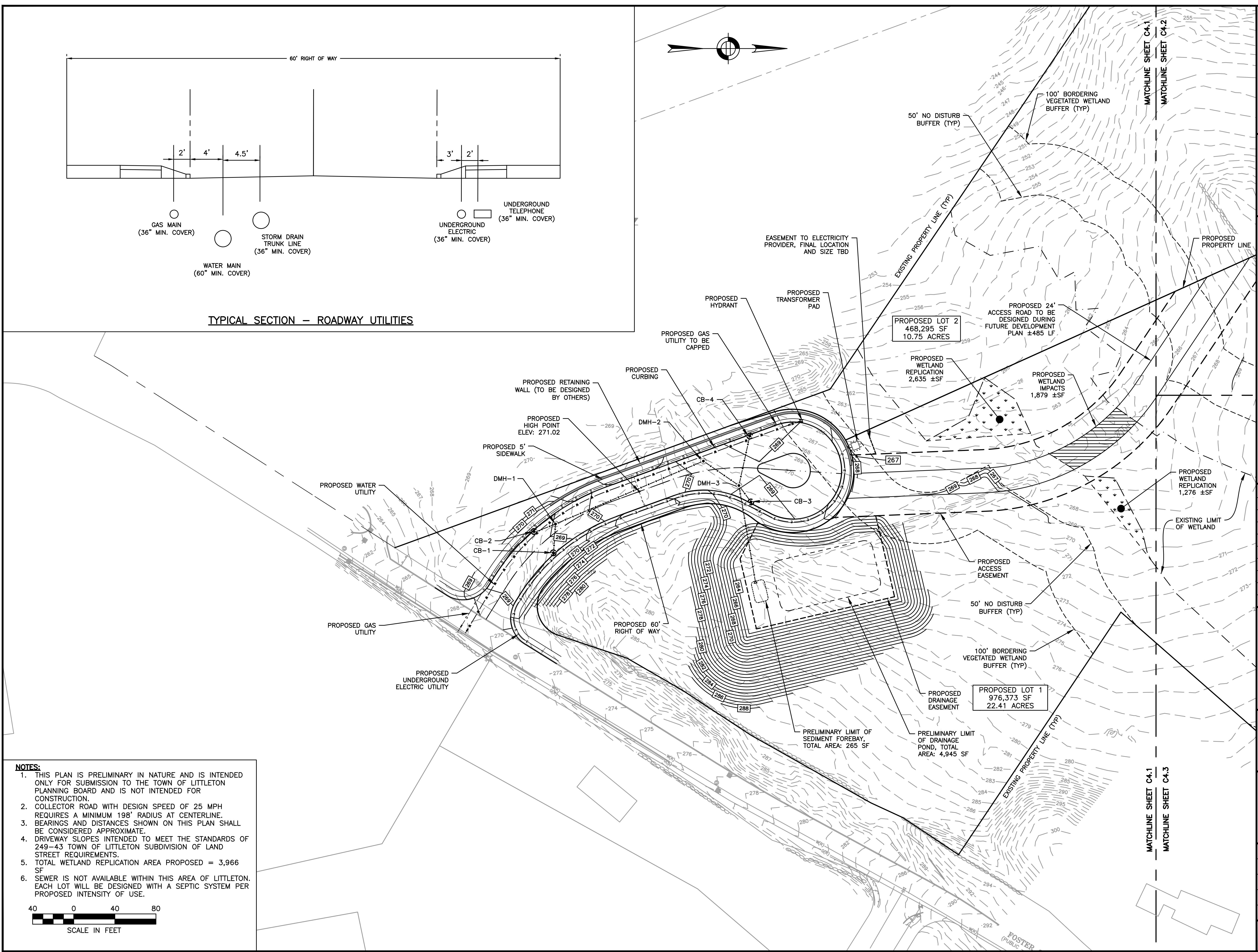
CHECKED BY: KE

C4.1

SHEET 6 OF 8



TYPICAL SECTION - ROADWAY UTILITIES



NOTES:

1. THIS PLAN IS PRELIMINARY IN NATURE AND IS INTENDED ONLY FOR SUBMISSION TO THE TOWN OF LITTLETON PLANNING BOARD AND IS NOT INTENDED FOR CONSTRUCTION.
2. COLLECTOR ROAD WITH DESIGN SPEED OF 25 MPH REQUIRES A MINIMUM 198' RADIUS AT CENTERLINE.
3. BEARINGS AND DISTANCES SHOWN ON THIS PLAN SHALL BE CONSIDERED APPROXIMATE.
4. DRIVEWAY SLOPES INTENDED TO MEET THE STANDARDS OF 249-43 TOWN OF LITTLETON SUBDIVISION OF LAND STREET REQUIREMENTS.
5. TOTAL WETLAND REPPLICATION AREA PROPOSED = 3,966 SF
6. SEWER IS NOT AVAILABLE WITHIN THIS AREA OF LITTLETON. EACH LOT WILL BE DESIGNED WITH A SEPTIC SYSTEM PER PROPOSED INTENSITY OF USE.



SCALE IN FEET



HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
SNS FOSTER
30 HARWOOD AVENUE
LITTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460

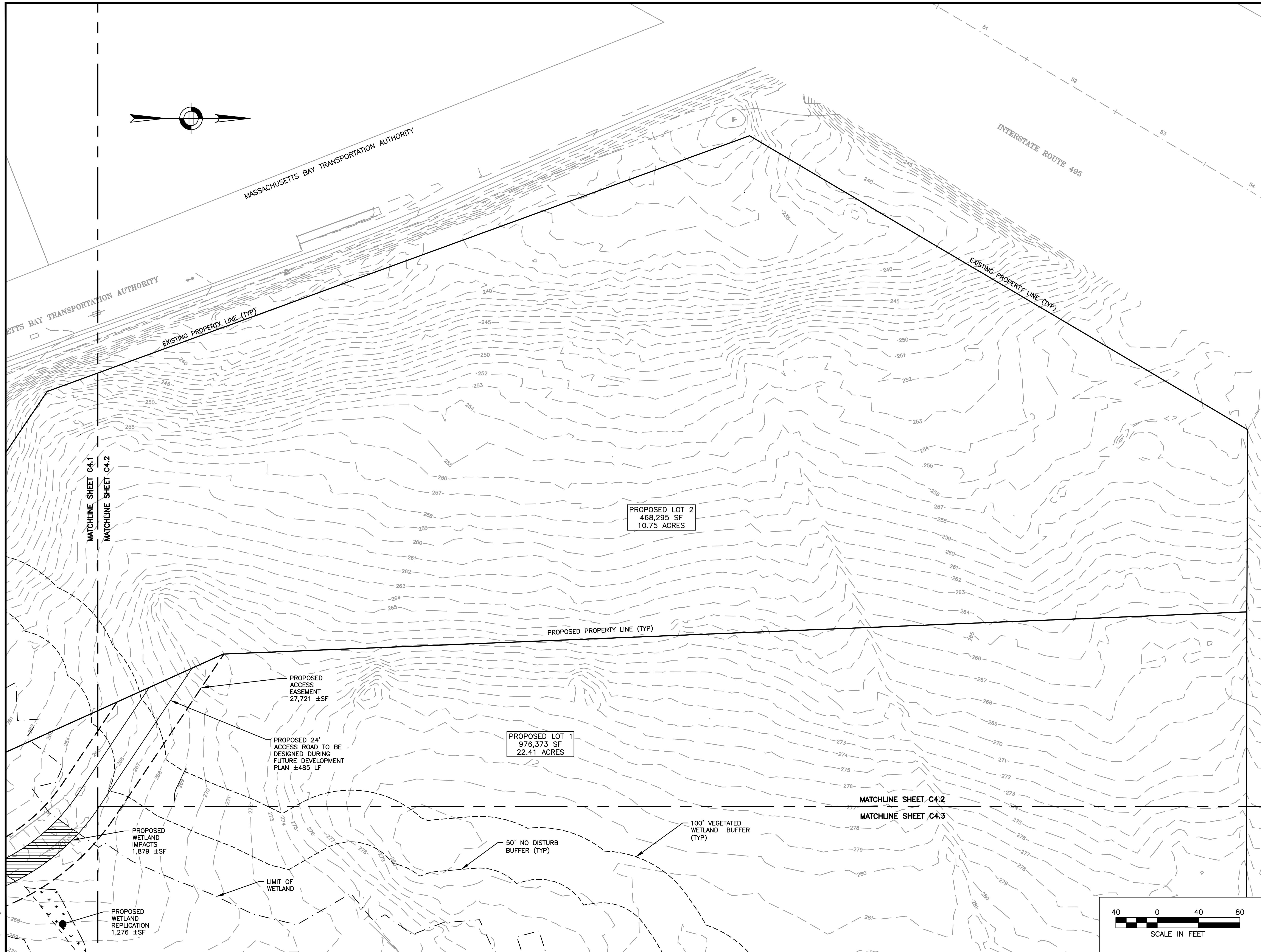


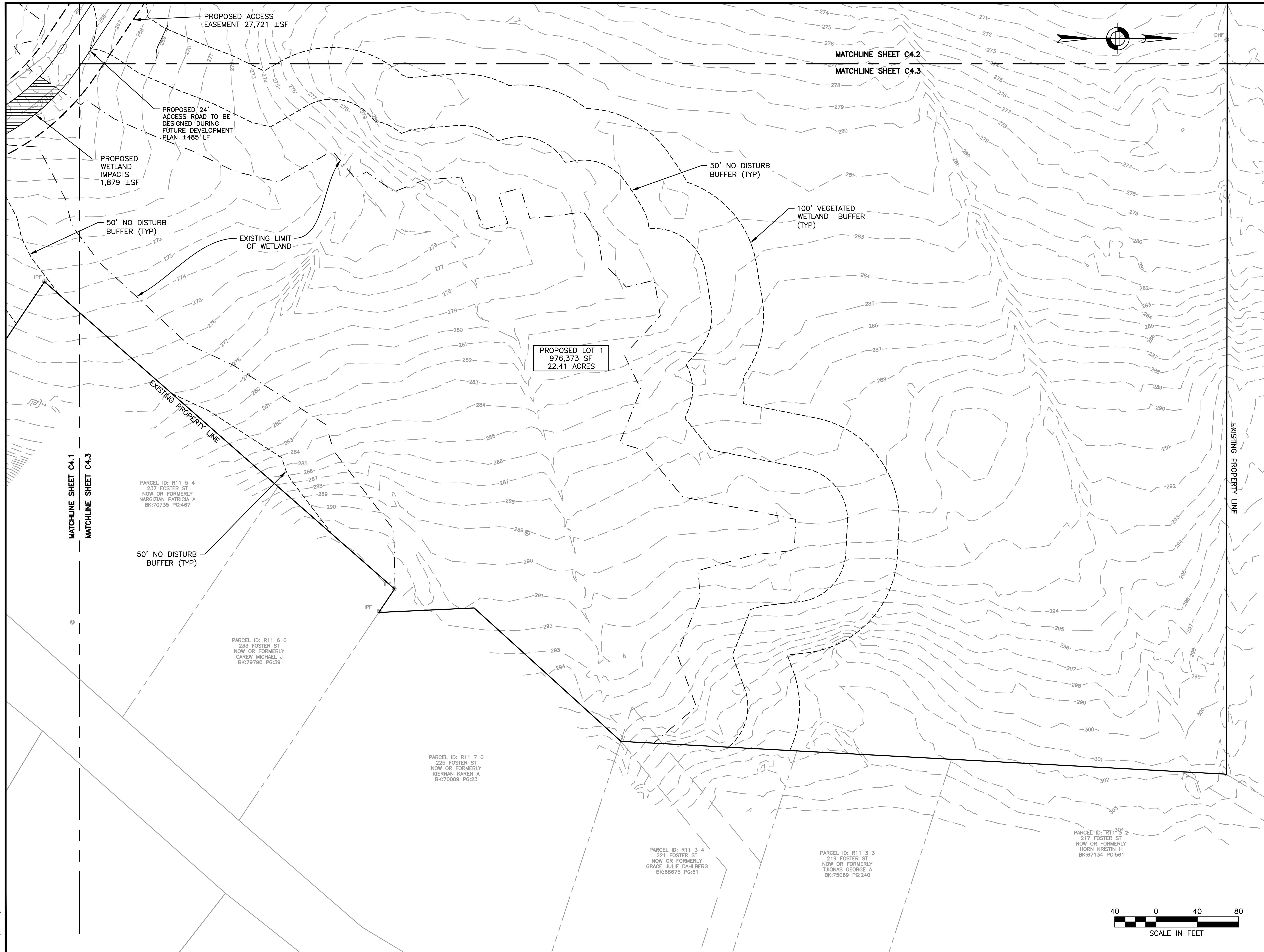
PRELIMINARY SUBDIVISION PLAN

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN 2 OF 3

E:	OCTOBER 27, 2023
OBJECT NUMBER:	22258
SIGNED BY:	MR,KF
AWN BY:	MR
ECKED BY:	KE

4.2





HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
SNS FOSTER
30 HARWOOD AVENUE
LITTLETON, MA 01460

PRELIMINARY SUBDIVISION
245 FOSTER STREET
LITTLETON, MA, 01460



PRELIMINARY SUBDIVISION PLAN

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN 3 OF 3

DATE:	OCTOBER 27, 2023
PROJECT NUMBER:	22258
DESIGNED BY:	MR,KF
DRAWN BY:	MR
CHECKED BY:	KE

C5.3