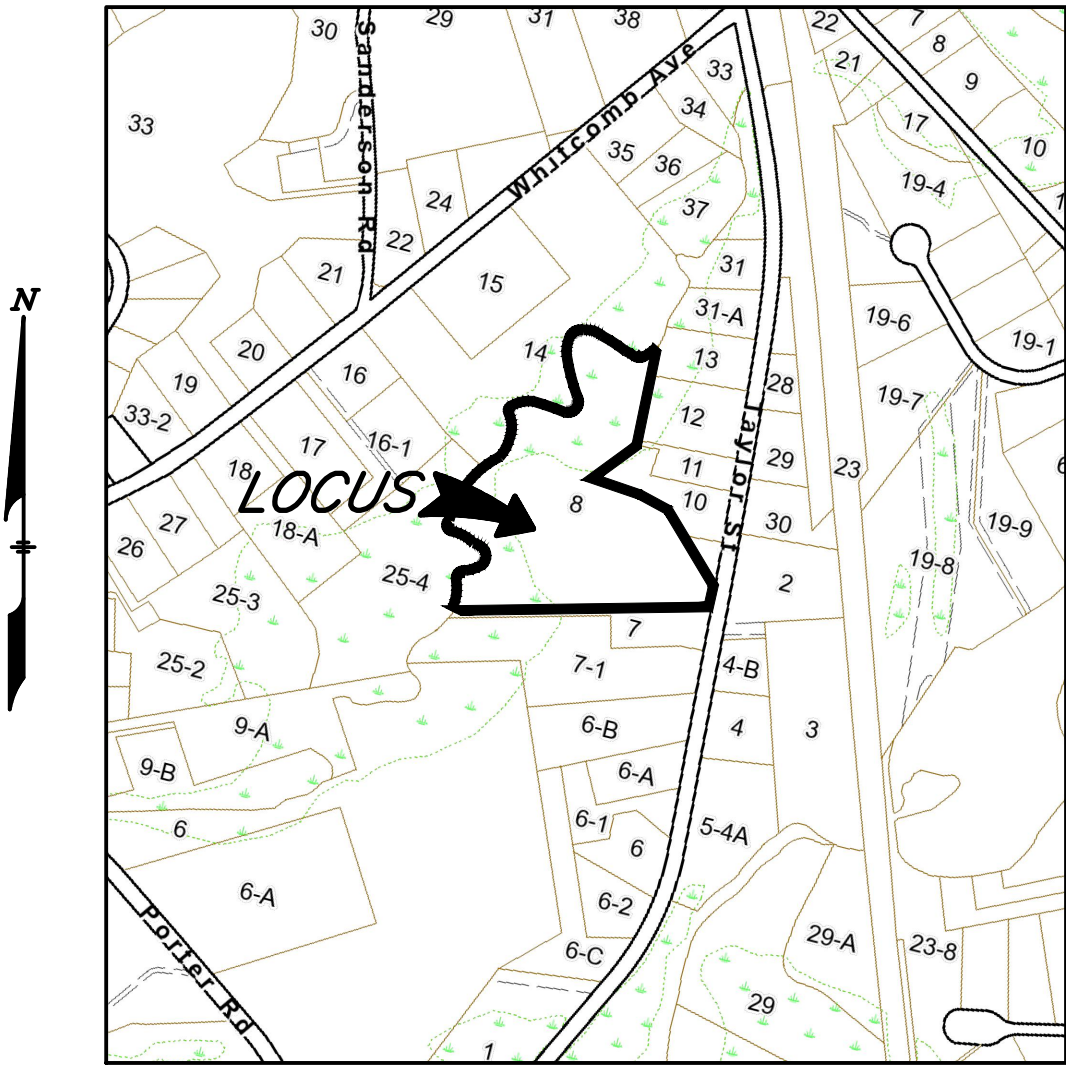


DEFINITIVE SUBDIVISION PLAN
FOR
STRAWBERRY FARMS
AT
95 TAYLOR STREET
IN
LITTLETON, MASSACHUSETTS
FEBRUARY 20, 2024
REVISED: APRIL 9, 2024

PLAN INDEX

SHEET 1	TITLE SHEET
SHEET 2	RECORD PLAN
SHEET 3	EXISTING CONDITIONS PLAN
SHEET 4	SITE DEVELOPMENT PLAN
SHEET 5	PLAN AND PROFILE
SHEET 6	CONSTRUCTION DETAILS
SHEET 7-8	EROSION AND SEDIMENTATION CONTROL PLAN



LOCUS PLAN

SCALE: 1"=600'

APPLICANT

SEAL HARBOR COMPANIES, LLC.
P.O. BOX 2857
ACTON, MA

RECORD OWNER

GILBERT L. FRIBERG
VILENA T. FRIBERG
95 TAYLOR STREET
LITTLETON, MA

ZONING DISTRICT

RESIDENCE (R)
WATER RESOURCE DISTRICT

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11584 PAGE 164
PLAN No. 1105 OF 1968

DATUM

N.A.V.D OF 1988.

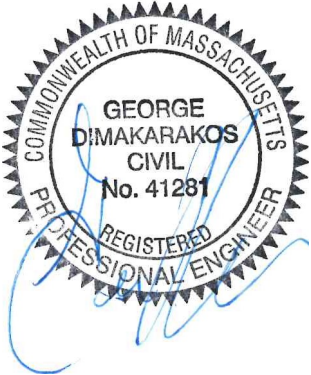
LITTLETON PLANNING BOARD

DATE: _____

I, CLERK OF THE TOWN OF LITTLETON, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS
PLAN BY THE LITTLETON PLANNING BOARD HAS BEEN
RECEIVED AND RECORDED AT THIS OFFICE AND NO
APPEAL WAS RECEIVED DURING THE TWENTY DAYS
NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

DATE _____

TOWN CLERK _____



ENGINEER/SURVEYOR
STAMSKI AND McNARY, INC.
1000 MAIN STREET
ACTON, MASSACHUSETTS 01720
(978) 263-8585



GILBERT L. FRIBERG
VILENA T. FRIBERG
95 TAYLOR STREET
LITTLETON, MA

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11584 PAGE 164
PLAN No. 1105 OF 1968

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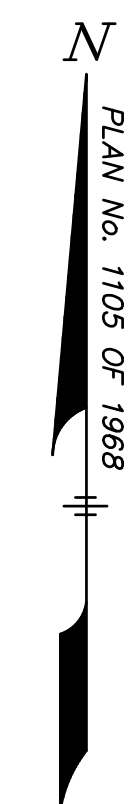
DATE _____

TOWN CLERK

DATE _____

REGISTERED PROFESSIONAL LAND SURVEYOR

PROPOSED PERMANENT MONUMENT
PROPOSED SEMI-PERMANENT MONUMENT



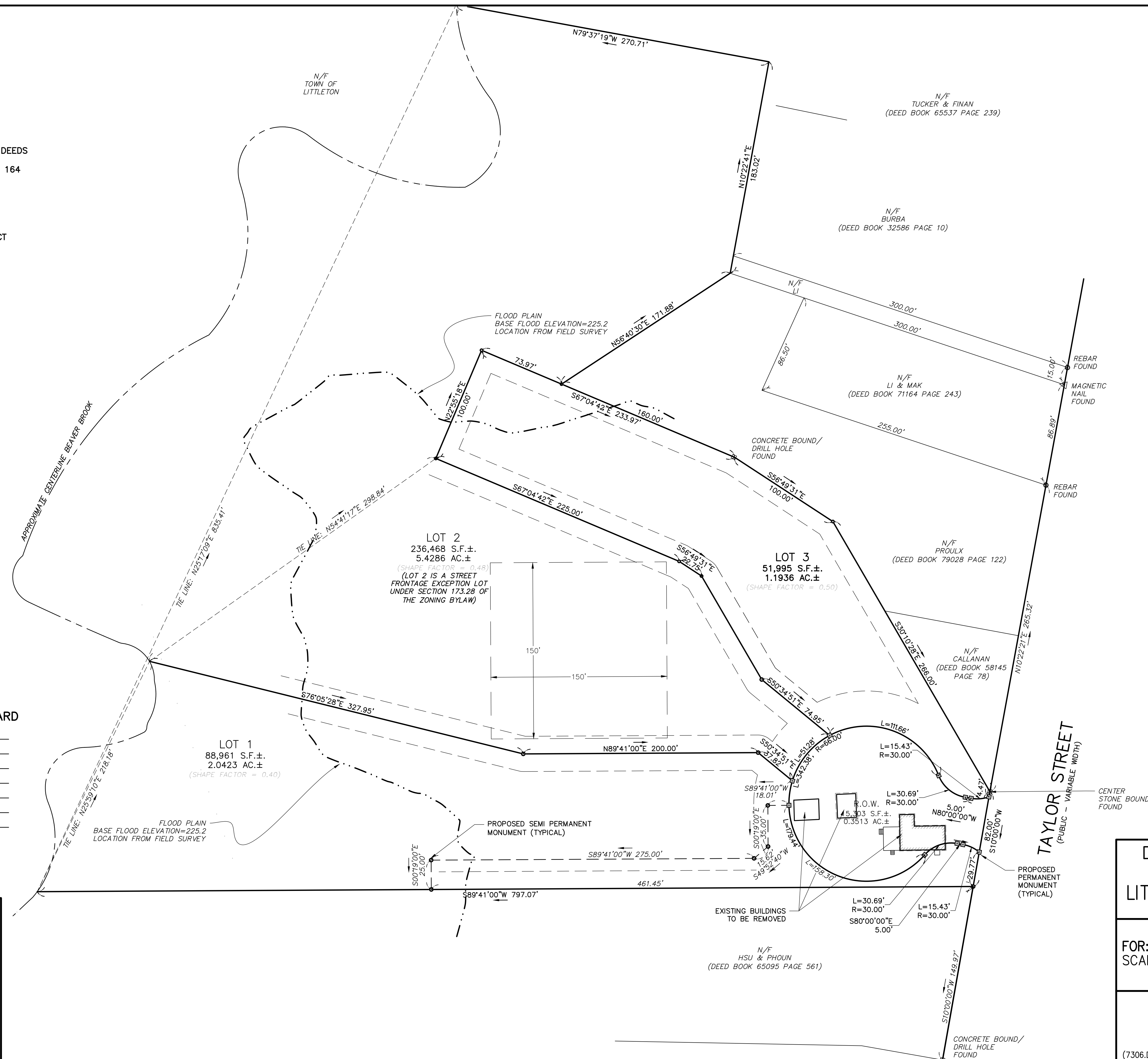
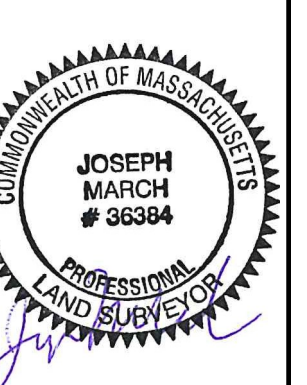
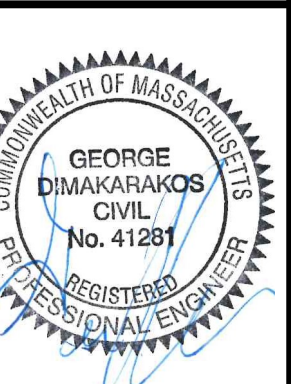
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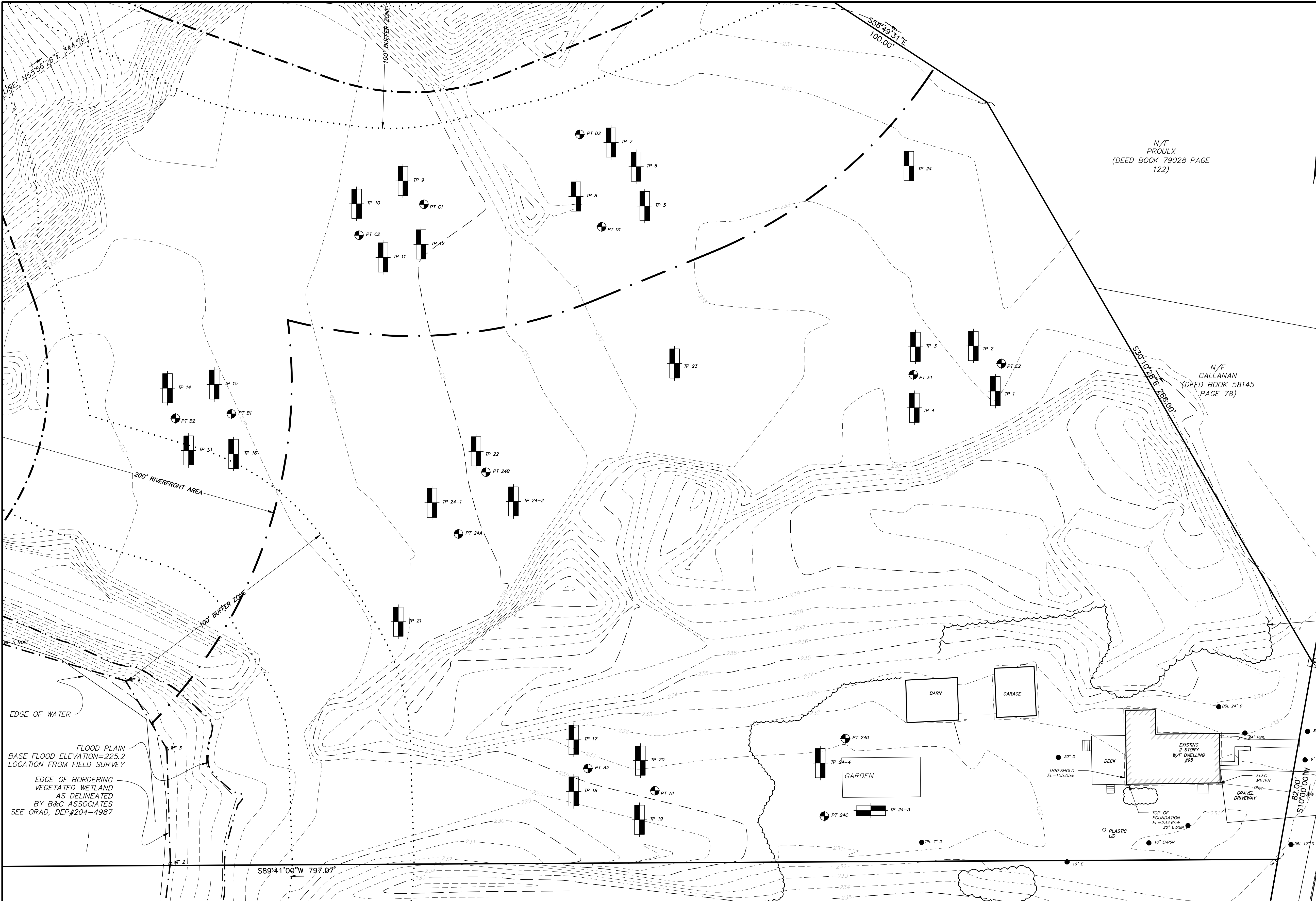
RECORD PLAN
 FOR: SEAL HARBOR COMPANIES, LLC
 SCALE: 1"=40' FEBRUARY 20, 2024
 REVISED: APRIL 9, 2024

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

(7306.DEFSUB.2.REC.dwg) SM-7306 2 SHEET OF 8





- LEGEND:**
- N/F NOW OR FORMERLY
 - OHW OVERHEAD WIRES
 - TREE
 - TREE LINE
 - UP UTILITY POLE
 - GG* GAS GATE
 - G GAS SERVICE (BURIED)
 - WG* WATER GATE
 - W WATER SERVICE (BURIED)
 - DMH DRAIN MANHOLE
 - D SUB-SURFACE DRAIN LINE
 - EXISTING CONTOUR
 - 25- EXISTING CONTOUR
 - ☆ LIGHTPOLE
 - △ WETLAND FLAG
 - 99X9 SPOT ELEVATION
 - STONE WALL
 - UGW UNDERGROUND WIRES
 - RD — ROOF DRAIN

LITTLETON PLANNING BOARD

DATE: _____

I, CLERK OF THE TOWN OF LITTLETON, MASSACHUSETTS
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DATE _____

TOWN CLERK _____

EXISTING
TREELINE

CENTER
STONE BOUND
FOUND

APPROXIMATE
EDGE OF PAVEMENT

EDGE OF WATER

FLOOD PLAIN
BASE FLOOD ELEVATION=225.2
LOCATION FROM FIELD SURVEY

EDGE OF BORDERING
VEGETATED WETLAND
AS DELINEATED
BY B&C ASSOCIATES
SEE ORAD, DEP#204-4987

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED
ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY
COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY.
ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE
DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING,
GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY
COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING
THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE
CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO
RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF
UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING
FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY
ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE
TELEPHONE No. 1-888-344-7233.

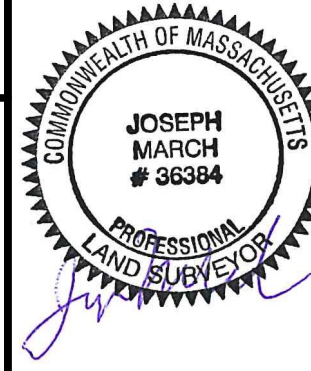
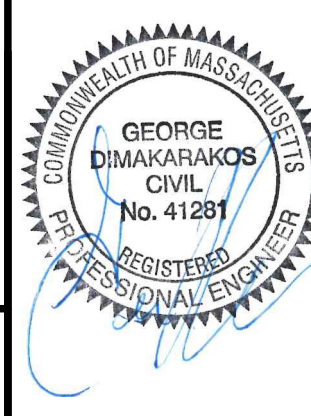
N/F
HSU & PHOUN
(DEED BOOK 65095 PAGE
561)

TBM
TOP HYDRANT
ELEV.=235.08

**DEFINITIVE SUBDIVISION
STRAWBERRY FARMS
IN
LITTLETON, MASSACHUSETTS
(MIDDLESEX COUNTY)**

EXISTING CONDITIONS PLAN
FOR: SEAL HARBOR COMPANIES, LLC
SCALE: 1"=20' FEBRUARY 20, 2024
REVISED: APRIL 9, 2024

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING
0 10 20 40 60 80 FT
(7306.DEFSUB.2B.dwg) SM-7306 SHEET 3 OF 8



LEGEND:

- N/F NOW OR FORMERLY
OHV OVERHEAD WIRE
● TREE
— TREE LINE
UP UTILITY POLE
GG+ GAS GATE
G GAS SERVICE (BURIED)
WG+ WATER GATE
W WATER SERVICE (BURIED)
○ DMH DRAIN MANHOLE
D SUB-SURFACE DRAIN LINE
--- EXISTING CONTOUR
- - - EXISTING CONTOUR
☆ LIGHTPOLE
△ WETLAND FLAG
99X9 SPOT ELEVATION
○○○○ STONE WALL
UGW UNDERGROUND WIRES
— RD ROOF DRAIN

LITTLETON PLANNING BOARD

DATE:

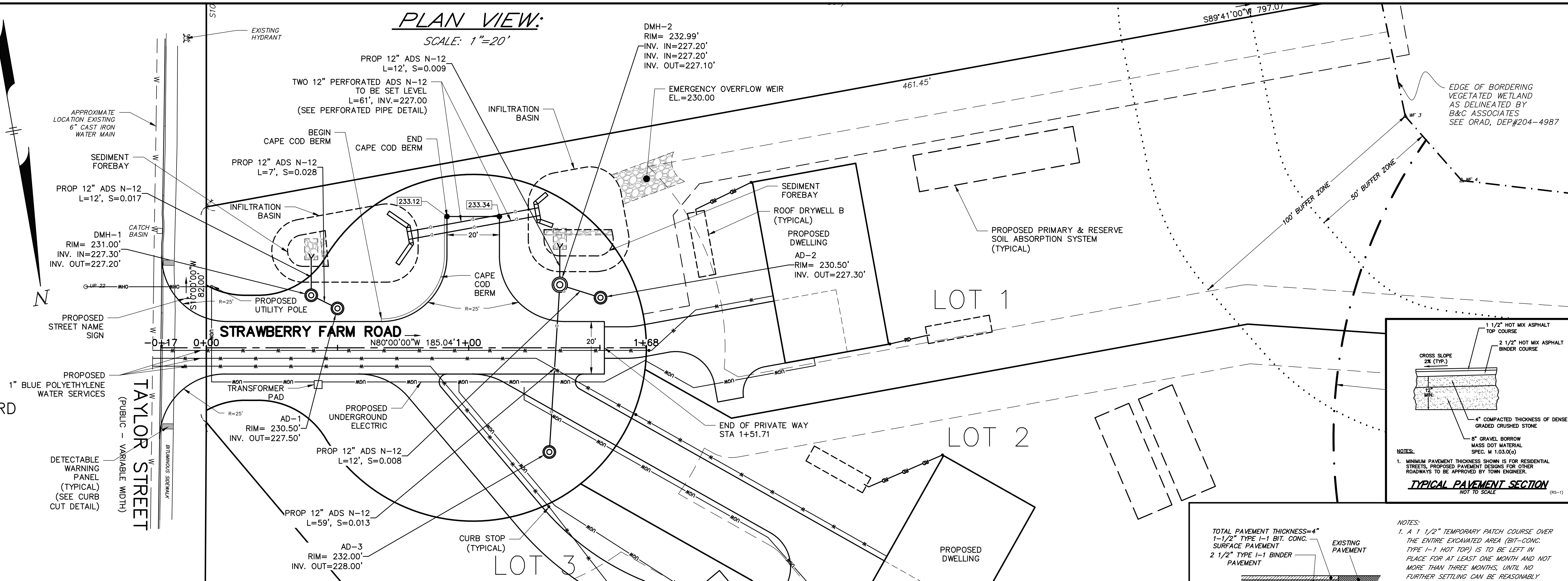
I, CLERK OF THE TOWN OF LITTLETON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE LITTLETON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE

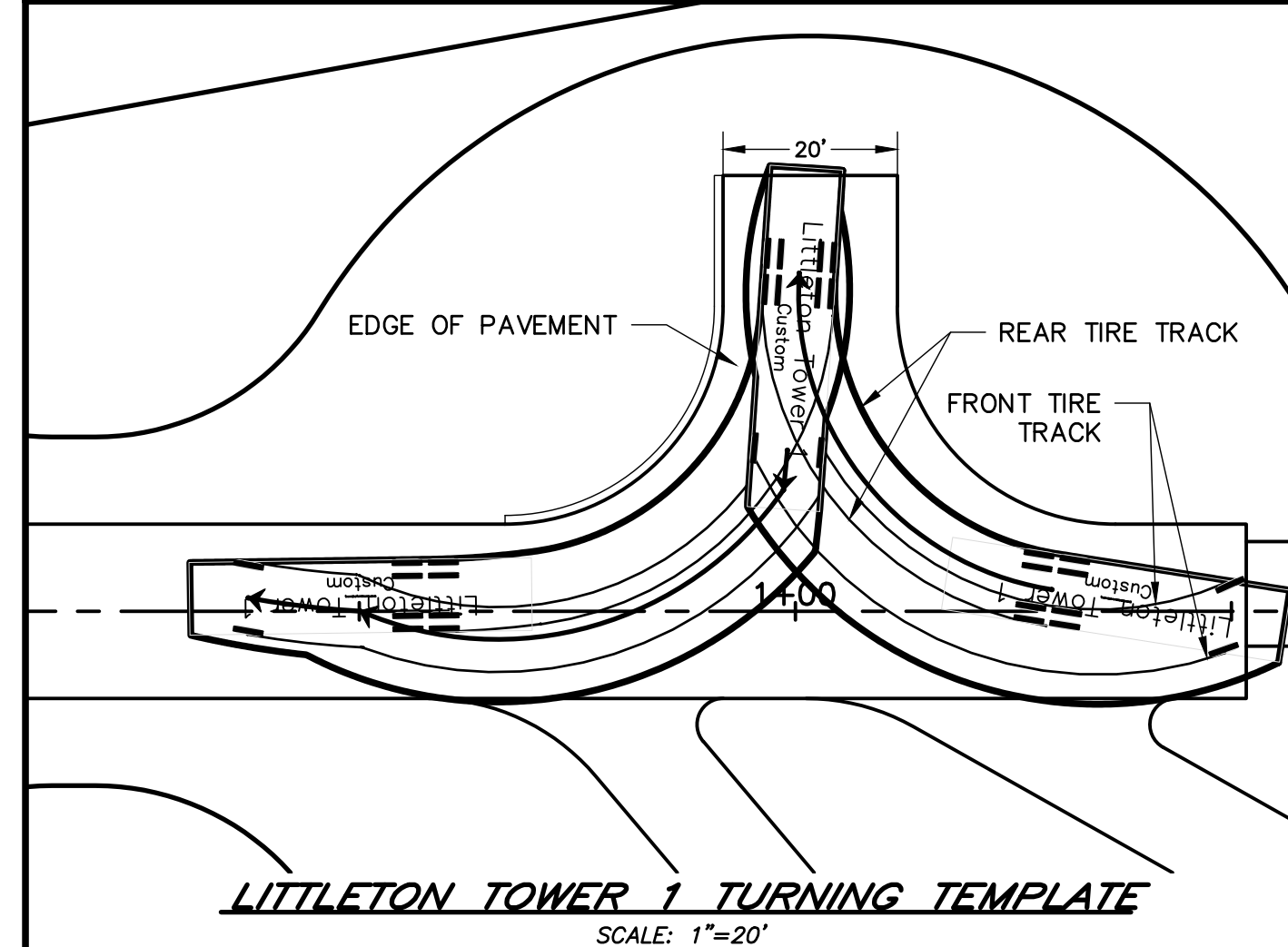
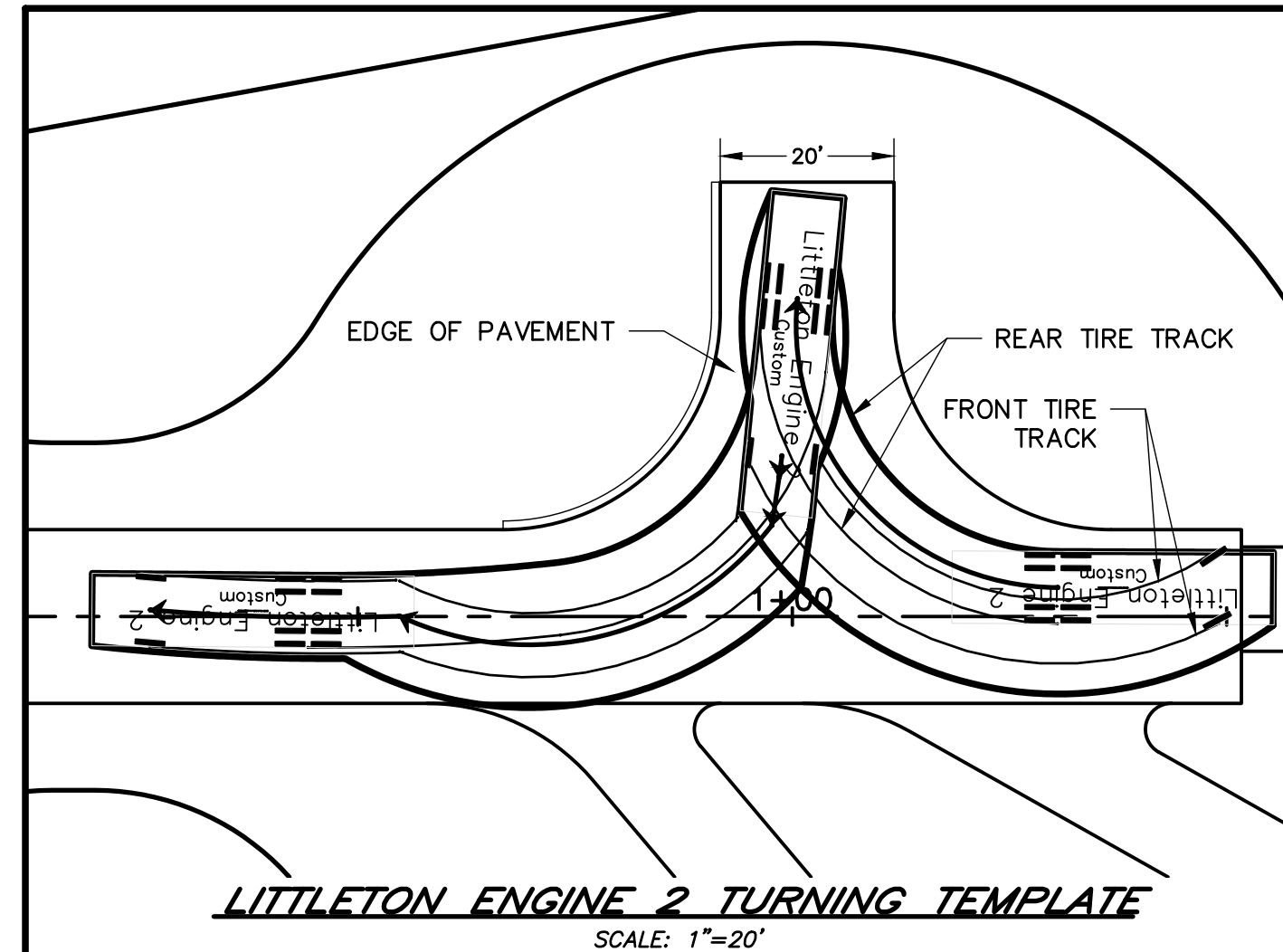
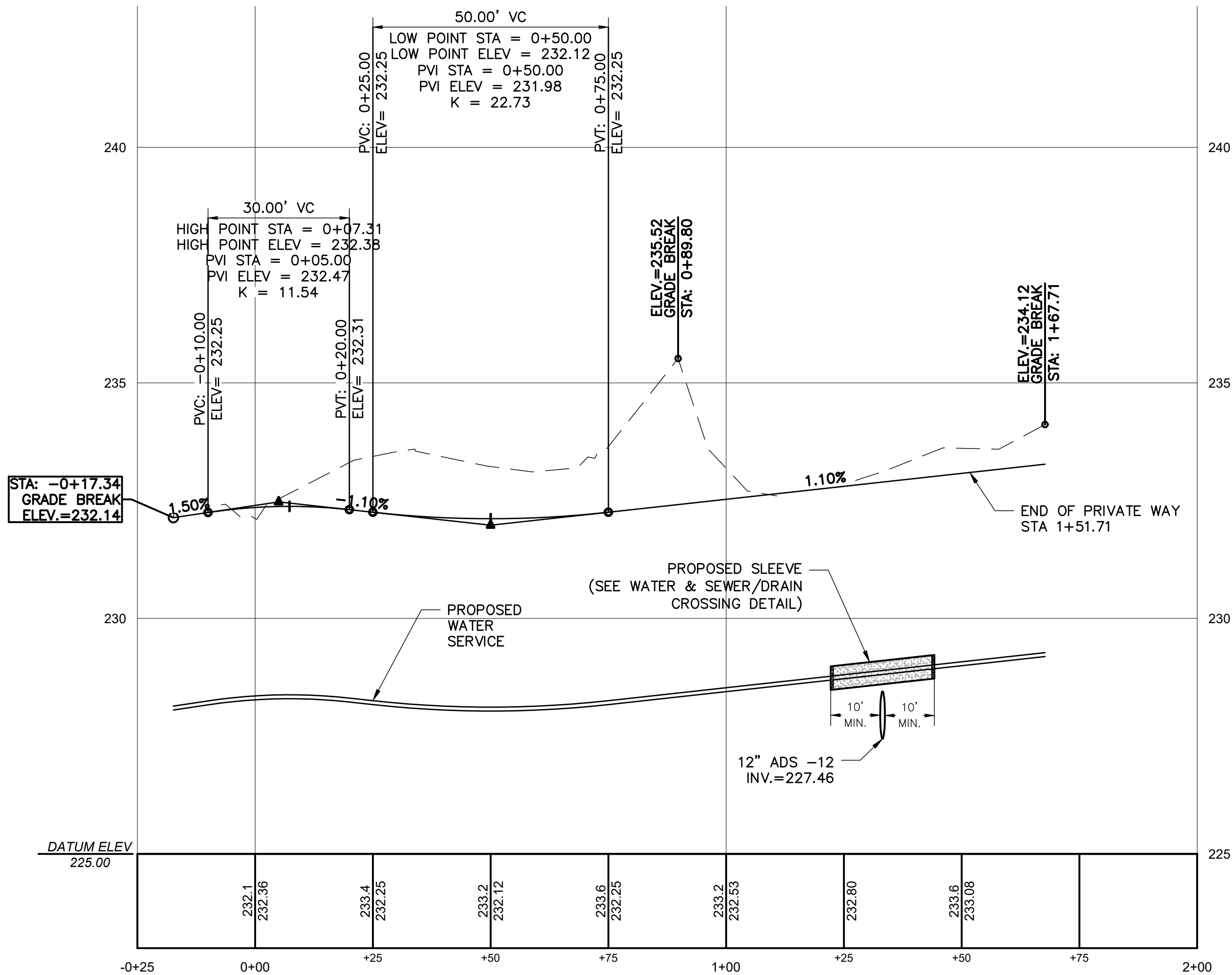
TOWN CLERK

PLAN VIEW:

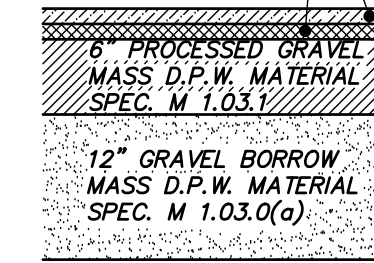
SCALE: 1"=20'



PROFILE: SCALE: 1"= 20' H. 1"= 2' V.



TOTAL PAVEMENT THICKNESS=4"
1-1/2" TYPE 1-1 BIT. CONC.
SURFACE PAVEMENT
2 1/2" TYPE 1-1 BINDER PAVEMENT



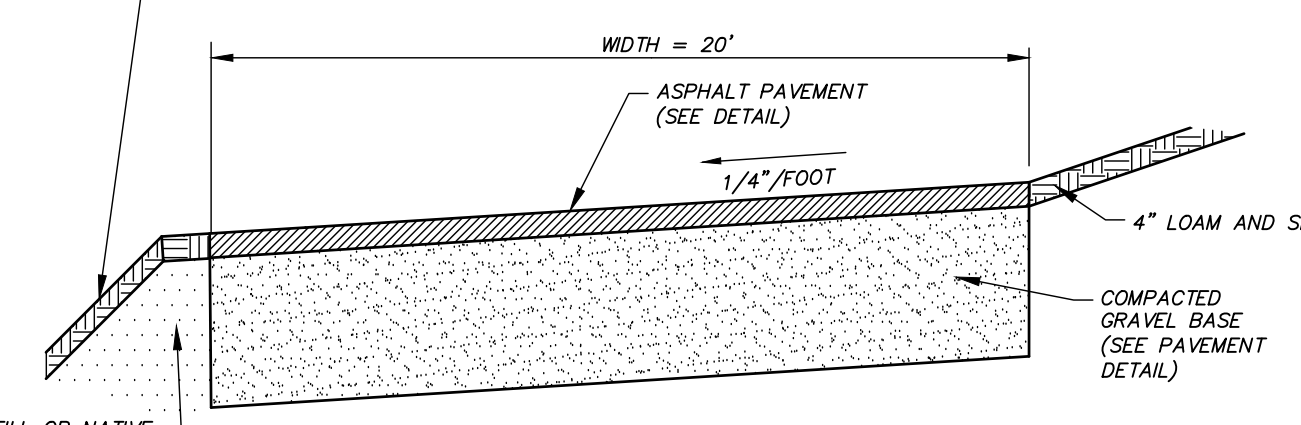
PAVEMENT PATCH DETAIL

N.T.S.

- NOTES:
1. A 1 1/2" TEMPORARY PATCH COURSE OVER THE ENTIRE EXCAVATED AREA (BIT-CONC. TYPE 1-1 HOT TOP) IS TO BE LEFT IN PLACE FOR AT LEAST ONE MONTH AND NOT MORE THAN THREE MONTHS, UNTIL NO FURTHER SETTLING CAN BE REASONABLY EXPECTED. THIS SHALL THEN BE REMOVED. ANY UNEVEN EDGES OF EXISTING PAVEMENT WILL BE CUT VERTICALLY WITH AN APPROVED POWER TOOL AND TACK COATED WITH ASPHALT EMULSION (RC-2).
2. IF EXISTING PAVEMENT IS OF A GREATER DEPTH THAN PATCHING REQUIREMENTS, THE PATCH SHALL BE OF THE SAME DEPTH. AT NO TIME SHOULD THE BIT. CONC. BE LAID IN LAYERS GREATER THAN 2 1/2".
3. WHEN THE PATCH IS COMPLETE, THE JOINTS SHOULD BE PAINTED WITH AN RC-2 AND SEALED WITH SAND.

PVMTPTCH_ACTON.DWG

4" LOAM AND SEED



TYPICAL ROADWAY CROSS-SECTION

NOT TO SCALE

DEFINITIVE SUBDIVISION
STRAWBERRY FARMS
IN
LITTLETON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PLAN AND PROFILE
FOR: SEAL HARBOR COMPANIES, LLC
SCALE: 1"=20' FEBRUARY 20, 2024
REVISED: APRIL 9, 2024

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

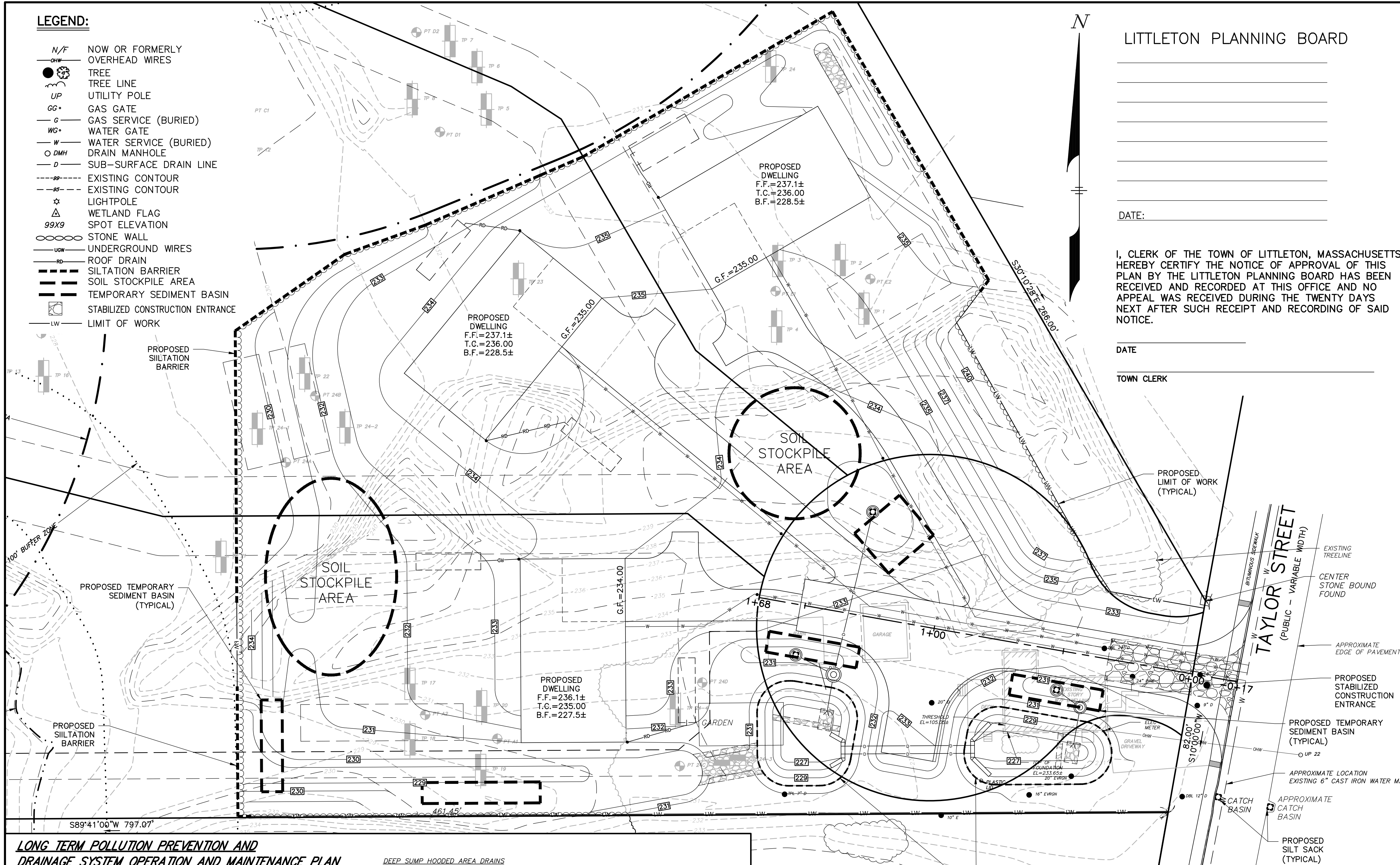
0 10 20 40 60 80 FT
(7306.DEFSUB.2B.dwg) SM-7306 SHEET 5 OF 8

COMMONWEALTH OF MASSACHUSETTS
GEORGE DIMAKARAKOS
CIVIL
No. 41281
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS
JOSEPH MARCH
#36384
REGISTERED LAND SURVEYOR

LEGEND:

- N/F NOW OR FORMERLY
OVERHEAD WIRES
● TREE
○ UTILITY POLE
GG• GAS GATE
G GAS SERVICE (BURIED)
WG• WATER GATE
W WATER SERVICE (BURIED)
○ DMH DRAIN MANHOLE
D SUB-SURFACE DRAIN LINE
---99--- EXISTING CONTOUR
---85--- EXISTING CONTOUR
☆ LIGHTPOLE
△ WETLAND FLAG
99X9 SPOT ELEVATION
○○○○ STONE WALL
UGW UNDERGROUND WIRES
RD ROOF DRAIN
--- SILTATION BARRIER
--- SOIL STOCKPILE AREA
--- TEMPORARY SEDIMENT BASIN
--- STABILIZED CONSTRUCTION ENTRANCE
LW LIMIT OF WORK



LITTLETON PLANNING BOARD

DATE:

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TOWN CLERK

EROSION AND SEDIMENTATION CONTROL NOTES

1. THE SITE IS SUBJECT TO THE PERMIT REQUIREMENTS OF THE EPA NPDES PROGRAM. THE DEVELOPER SHALL SUBMIT COPIES OF SAID PERMIT AND REPORTING REQUIREMENTS TO THE TOWN AS A CONDITION OF THE SPECIAL PERMIT ISSUED BY THE BOARD OF APPEALS. DEVELOPER SHALL COMPLY WITH ANY ADDITIONAL EROSION CONTROL MEASURES IDENTIFIED BY THE NPDES PROGRAM NOT INDICATED ON THIS PLAN, IF THEY SO EXIST.
- 1A. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED FOR EACH PHASE PRIOR TO ANY CONSTRUCTION OCCURRING ON SITE.
2. DURING DEVELOPMENT AND CONSTRUCTION, ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS. THE BOARD OF APPEALS RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES IF PROBLEMS ARE NOTED BY A REPRESENTATIVE OF THE TOWN OR APPOINTED CONSULTANT.
3. LAND SHALL BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH THE SEQUENCE OF TRADING, DEVELOPMENT, AND CONSTRUCTION. OPERATIONS. CONTROL MEASURES SUCH AS HYDROSEEDING, BERMES, INTERCEPTOR DITCHES, TERRACES, AND SEDIMENT TRAPS SHALL BE PUT INTO EFFECT PRIOR TO THE COMMENCEMENT OF EACH INCREMENT OF THE DEVELOPMENT/CONSTRUCTION PROCESS.
4. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION CONTROL DEVICES, IF INTENSE RAINFALL IS PREDICTED. THE CONTRACTOR'S REPRESENTATIVE SHALL INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. AREAS WITH SITES THAT HAVE BEEN FINALLY STABILIZED MUST BE INSPECTED AT LEAST ONCE A MONTH.
5. ALL SOIL STOCK PILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCK PILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TARPAULIN SHEETS.
6. DURING DRIVEWAY CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A ONE FOOT HIGH BY TWO FOOT WIDE EARTHEN BERM ALONG THE EDGES OF THE DRIVEWAY TO DIVERT RUNOFF TO A SEDIMENT BASIN. STRAWBALES MAY BE UTILIZED TO DIVERT RUNOFF FROM THE DRIVEWAY LOW POINTS TO THE SEDIMENT BASIN DURING CONSTRUCTION UNTIL THE DRAINAGE SYSTEM IS INSTALLED. (SEE EARTHEN BERM DETAIL.)
7. ALL CATCH BASIN AND MANHOLE RIMS SHALL BE PROVIDED WITH SILT SACKS DURING CONSTRUCTION. CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE AND INSTALL SILT SACK UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COURSE.
8. ALL CATCH BASIN SUMPS AND DRAINAGE BASINS SHALL BE CLEANED DURING AND FOLLOWING CONSTRUCTION. THEREAFTER REFER TO OPERATION AND MAINTENANCE PLAN.
9. SEDIMENT BASINS (DEBRIS, BASINS, DE-SILTING BASINS, OR SILT TRAPS) SHALL BE INSTALLED IN CONJUNCTION WITH THE INITIAL GRADING OPERATIONS AND MAINTAINED THROUGH THE DEVELOPMENT PROCESS TO REMOVE SEDIMENT FROM RUNOFF WATERS DRAINING FROM LAND UNDERGOING DEVELOPMENT.
10. THE DEVELOPER IS REQUIRED TO CLEAN UP ANY SAND, DIRT, OR DEBRIS WHICH ERODES FROM THE SITE ONTO ANY PUBLIC STREET OR PRIVATE PROPERTY, AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES AND DITCHES.
11. VELOCITY CHECK DAMS - STRAWBALES WILL BE USED AROUND THE CATCH BASINS ON THE PROPOSED STREETS TO PROTECT THEM FROM THE ERODING SOILS AND PROVIDE A CHECK DAM* TO SLOW THE RUNOFF DURING THE CONSTRUCTION. THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED BELOW:

GRADE OF THE STREET	INTERVALS BETWEEN CHECKDAMS
LESS THAN 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UN-VEGETATED OR UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF THE CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
12. ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 6" LOAM AND SEEDED DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH A STRAW MULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1). IN AREAS SUBJECT TO THE WETLANDS PROTECTION ACT, THE STRAW MULCH AND/OR REQUIRED MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS RE-ESTABLISHED.
13. DISTURBED AREAS WHERE CONSTRUCTION HAS PERMANENTLY OR TEMPORARILY CEASED MUST BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE. AREAS WHICH WILL BE REDISTURBED WITHIN 21 DAYS DO NOT HAVE TO BE STABILIZED.
14. *CHECK DAMS IN UNPAVED STREETS AND UN-VEGETATED OR UNPAVED GRADED CHANNELS SHALL BE CONSTRUCTED OF STAKED STRAW BALES OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE BOARD. THE CHECK DAMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY, AND IN THE EVENT OF RAINFALL BEING PREDICTED, THE STRAW BALES SHOULD BE SECURELY STAKED TO PREVENT OVERTURNING, FLOTATION, OR DISPLACEMENT. THEY SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. ALSO, A VELOCITY CHECK DAM SHALL BE PROVIDED ALONG THE ENTRANCE OF THE LOT TO PROTECT THE PUBLIC STREETS AND ADJACENT PROPERTIES FROM THE HAZARDS OF EROSION. ALL CHECK DAMS SHALL BE CLEANED OUT OF ALL DEBRIS AND SILT PERIODICALLY.
15. ADDITIONAL EROSION CONTROL MEASURES SHALL BE STOCK-PILED ON-SITE, INCLUDING BUT NOT LIMITED TO CRUSHED STONE, STRAW BALES, SILT FENCE AND EROSION CONTROL MATS.
16. THE SEDIMENT SHALL BE REMOVED BEHIND ALL STRAW BALES AND SILT FENCES IF DEPTH EXCEEDS 6". SEDIMENT SHALL BE REMOVED TO OUTSIDE THE BUFFER ZONE OF THE WETLANDS WHERE APPLICABLE.
17. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL TRIBUTARY SURFACES ARE STABILIZED.
18. DURING CONSTRUCTION, THE CONTRACTOR SHALL SPRAY DOWN THE SITE WITH A WATER TRUCK AS NEEDED FOR DUST CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. TEMPORARY VEGETATION AND/OR USE OF TARPAULIN MAY BE NECESSARY.

LONG TERM POLLUTION PREVENTION AND
DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN

1. THERE SHALL BE NO ILLEGAL DISCHARGES TO ANY PART OF THE STORM DRAIN SYSTEM. THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS IS THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING CONSTRUCTION.
- THE INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION IS THE RESPONSIBILITY OF:
PARTIES RESPONSIBLE FOR LONG TERM OPERATION/MAINTENANCE:
HOMEOWNERS ASSOCIATION
- SCHEDULE FOR INSPECTION AND MAINTENANCE:
STREET SWEEPING:
IT IS RECOMMENDED THAT THE PAVEMENT SHALL BE PROPERLY SWEEPED FOUR TIMES A YEAR, WITH CONCENTRATIONS IN THE SPRING AND THE FALL.
- SEDIMENT FOREBAYS:
THE FLOOR AND SIDEWALLS OF THE SEDIMENT FOREBAY MUST BE STABILIZED BEFORE USE. SEDIMENT FOREBAYS SHALL BE INSPECTED MONTHLY AND CLEANED A MINIMUM OF FOUR TIMES PER YEAR WHEN SEDIMENT DEPTH IS BETWEEN 3-6 INCHES. AFTER SEDIMENT REMOVAL, ANY DAMAGED VEGETATION MUST BE REPLACED. GRASS IN THE FOREBAY SHALL NOT EXCEED 6 INCHES IN LENGTH AND ANY SOURING AND GULLING SHALL BE REPAIRED AS NECESSARY.
- INFILTRATION BASINS:
PREVENTATIVE MAINTENANCE SHOULD BE PERFORMED AT LEAST TWICE A YEAR, AND IDEALLY ONCE ONLINE, THE BASINS SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVEN (1" IN 24 HOURS). FOR THE FIRST 3 MONTHS, THEREAFTER, THE BASIN SHOULD BE INSPECTED AT LEAST TWICE PER YEAR. IMPORTANT ITEMS TO CHECK FOR INCLUDE: DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENTS, CONDITION OF RIPRAP, SEDIMENT ACCUMULATION AND THE HEALTH OF THE TURF.
AT LEAST TWICE A YEAR, THE BUFFER AREA AND SIDE SLOPES OF THE BASIN SHOULD BE MOWED. GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER SHOULD BE REMOVED TO PREVENT THE FORMATION OF AN IMPERVIOUS ORGANIC MAT. TRASH AND DEBRIS SHOULD ALSO BE REMOVED AT THIS TIME. SCARIFY BOTTOM AREA AND ADD ADDITIONAL SAND IF NECESSARY.
SEDIMENT SHOULD BE REMOVED FROM THE BASIN AS NECESSARY. REMOVAL PROCEDURES SHOULD NOT TAKE PLACE UNTIL THE FLOOR OF THE BASIN IS THOROUGHLY DRY. PRETREATMENT DEVICES ASSOCIATED WITH BASINS SHOULD BE INSPECTED AND CLEANED AT LEAST TWICE A YEAR AND IDEALLY EVERY OTHER MONTH.

DEEP SUMP HOODED AREA DRAINS

DURING CONSTRUCTION, CATCH BASIN GRATES SHALL BE PROVIDED WITH SILT SACKS. CATCH BASINS SHALL BE CLEANED UPON THE COMPLETION OF CONSTRUCTION. AFTER CONSTRUCTION, THE DEEP SUMPS FOR ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE INSPECTED FOUR TIMES A YEAR AND CLEANED FOUR TIMES A YEAR. SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS. THE DEPTH OF THE SEDIMENT IN A BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK HITS THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.

DRYWELLS:

INSPECT THE DRYWELL AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE PROPER STABILIZATION AND FUNCTION. THEREAFTER, INSPECT AND CLEAN IT AT LEAST ONCE PER YEAR. WATER LEVELS SHOULD BE RECORDED OVER SEVERAL DAYS TO CHECK THE DRYWELL DRAINAGE.

EMERGENCY CONTACTS:

IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED:

RECORDS:

THE DEVELOPER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORMWATER MANAGEMENT PLAN DURING CONSTRUCTION AND UNTIL THE ROAD IS ACCEPTED BY THE TOWN. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ONSITE AT ALL TIMES UNTIL ACCEPTANCE OF THE ROAD. EACH INDIVIDUAL LOT OWNER SHALL ALSO MAINTAIN RECORDS FOR PRIVATE STRUCTURES ON THEIR LOT.

FIRE DEPARTMENT: PH: 978-952-2302

TBM
TOP HYDRANT
ELEV.=235.08

NO STOCKPILING OF MATERIALS
ALLOWED WITHIN FOOTPRINTS
OF INFILTRATION BASINS
AREAS SHALL
NOT BE USED AS TEMPORARY
SEDIMENT BASINS

DEFINITIVE SUBDIVISION
STRAWBERRY FARMS
IN
LITTLETON, MASSACHUSETTS
(MIDDLESEX COUNTY)

EROSION AND SEDIMENTATION CONTROL PLAN

FOR: SEAL HARBOR COMPANIES, LLC

SCALE: 1"=20' FEBRUARY 20, 2024

REVISED: APRIL 9, 2024

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(7306.DEFSUB.2B.dwg)

SM-7306

SHEET 7 OF 8

