

DEFINITIVE SUBDIVISION PLAN
FOR
STRAWBERRY FARMS
AT
95 TAYLOR STREET
IN
LITTLETON, MASSACHUSETTS

FEBRUARY 20, 2024
REVISED: APRIL 9, 2024

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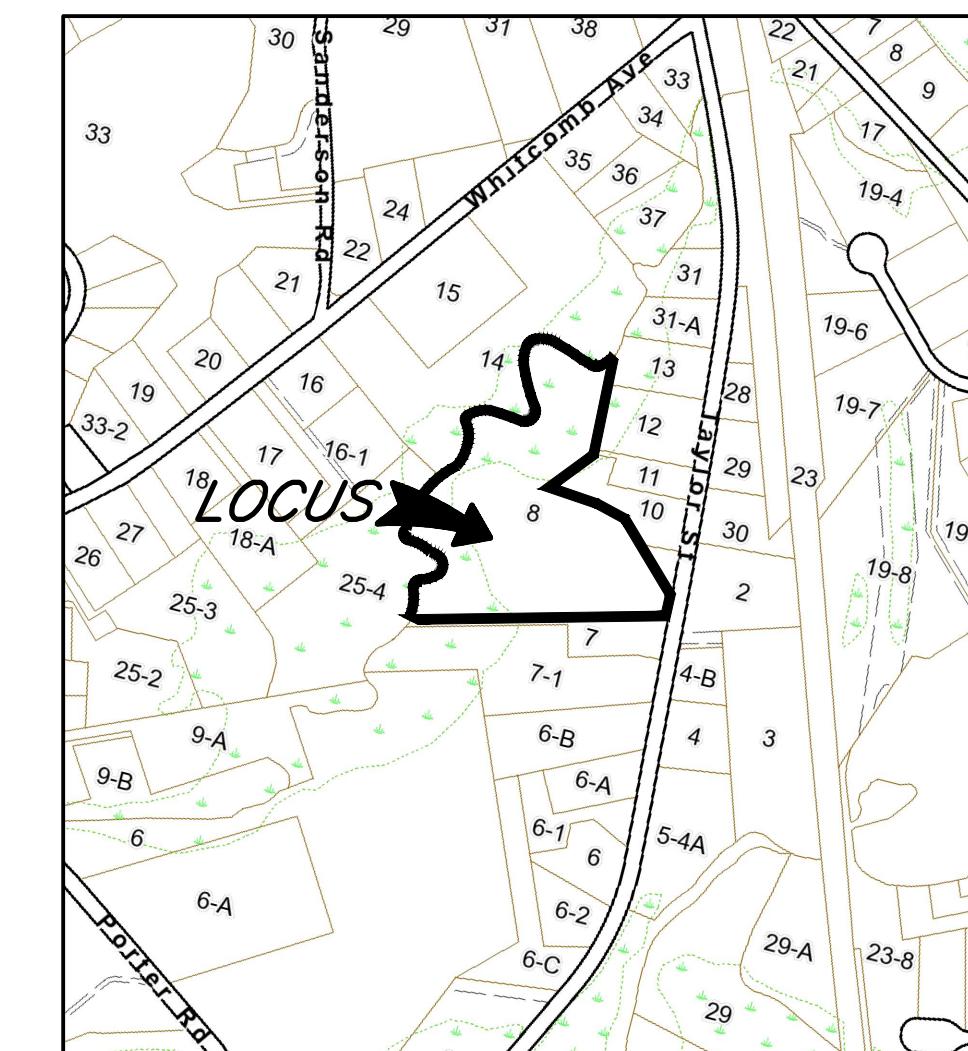
LITTLETON PLANNING BOARD

DATE:

I, CLERK OF THE TOWN OF LITTLETON, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS
PLAN BY THE LITTLETON PLANNING BOARD HAS BEEN
RECEIVED AND RECORDED AT THIS OFFICE AND NO
APPEAL WAS RECEIVED DURING THE TWENTY DAYS
NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

DATE

TOWN CLERK



LOCUS PLAN

SCALE: 1" = 600'

ENGINEER / SURVEYOR
STAMSKI AND MCNARY, INC.
1000 MAIN STREET
ACTON, MASSACHUSETTS 01720
(978) 263-8585



APPLICANT

SEAL HARBOR COMPANIES, LLC.
P.O. BOX 2857
ACTON, MA

RECORD OWNER

**GILBERT L. FRIBERG
VILENA T. FRIBERG
95 TAYLOR STREET
LITTLETON MA**

ZONING DISTRICT

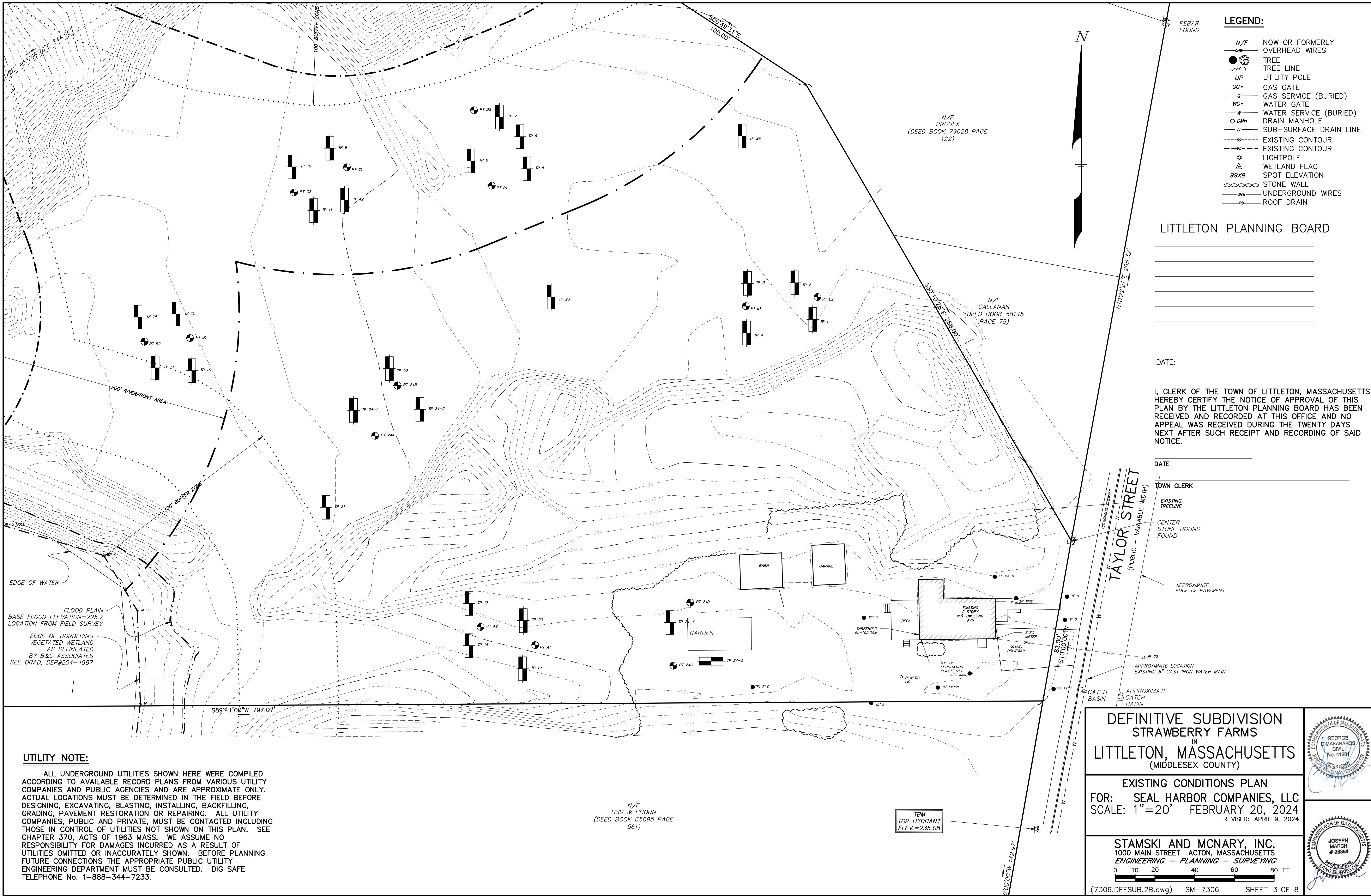
**RESIDENCE (R)
WATER RESOURCE DISTRICT**

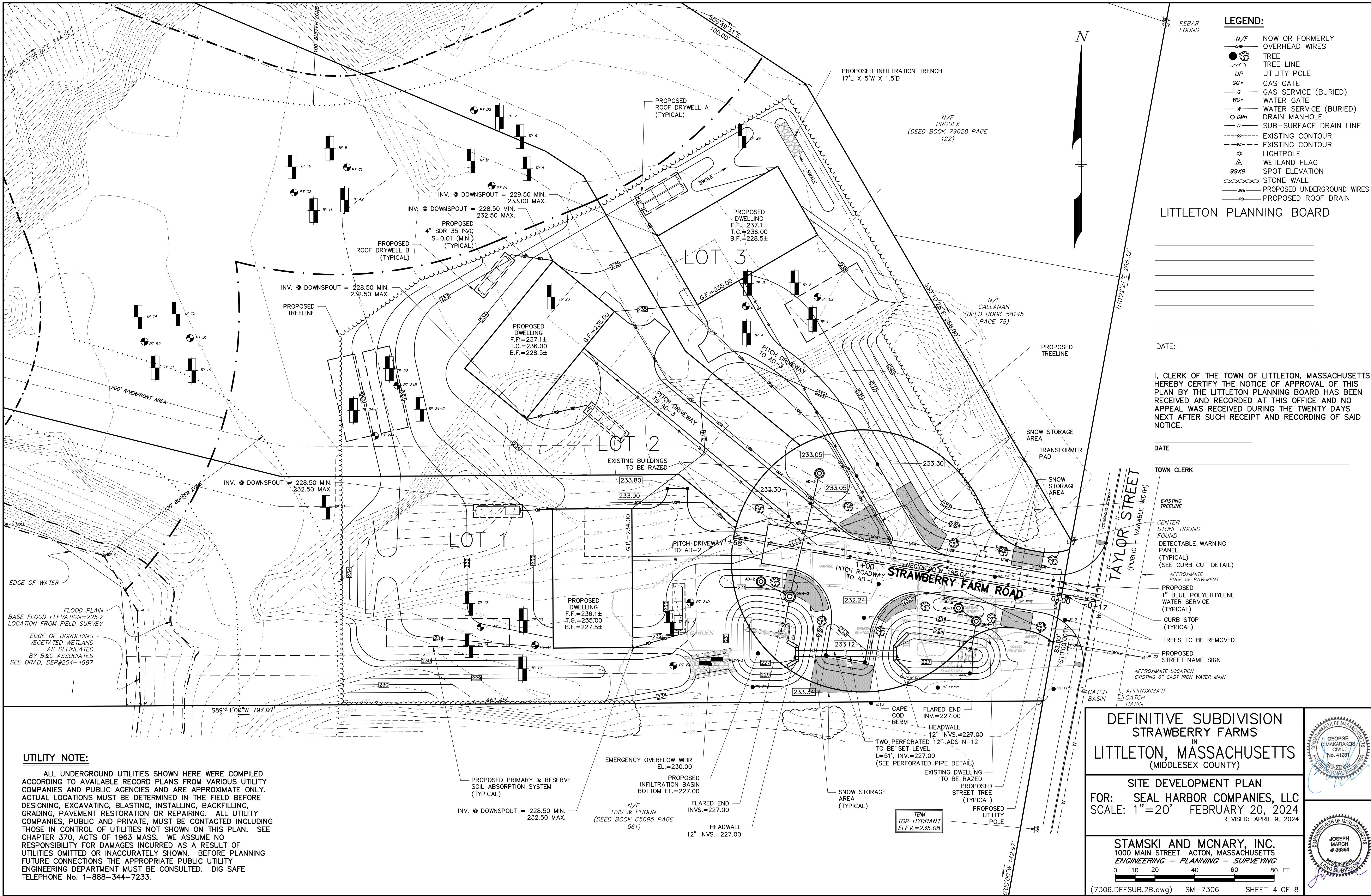
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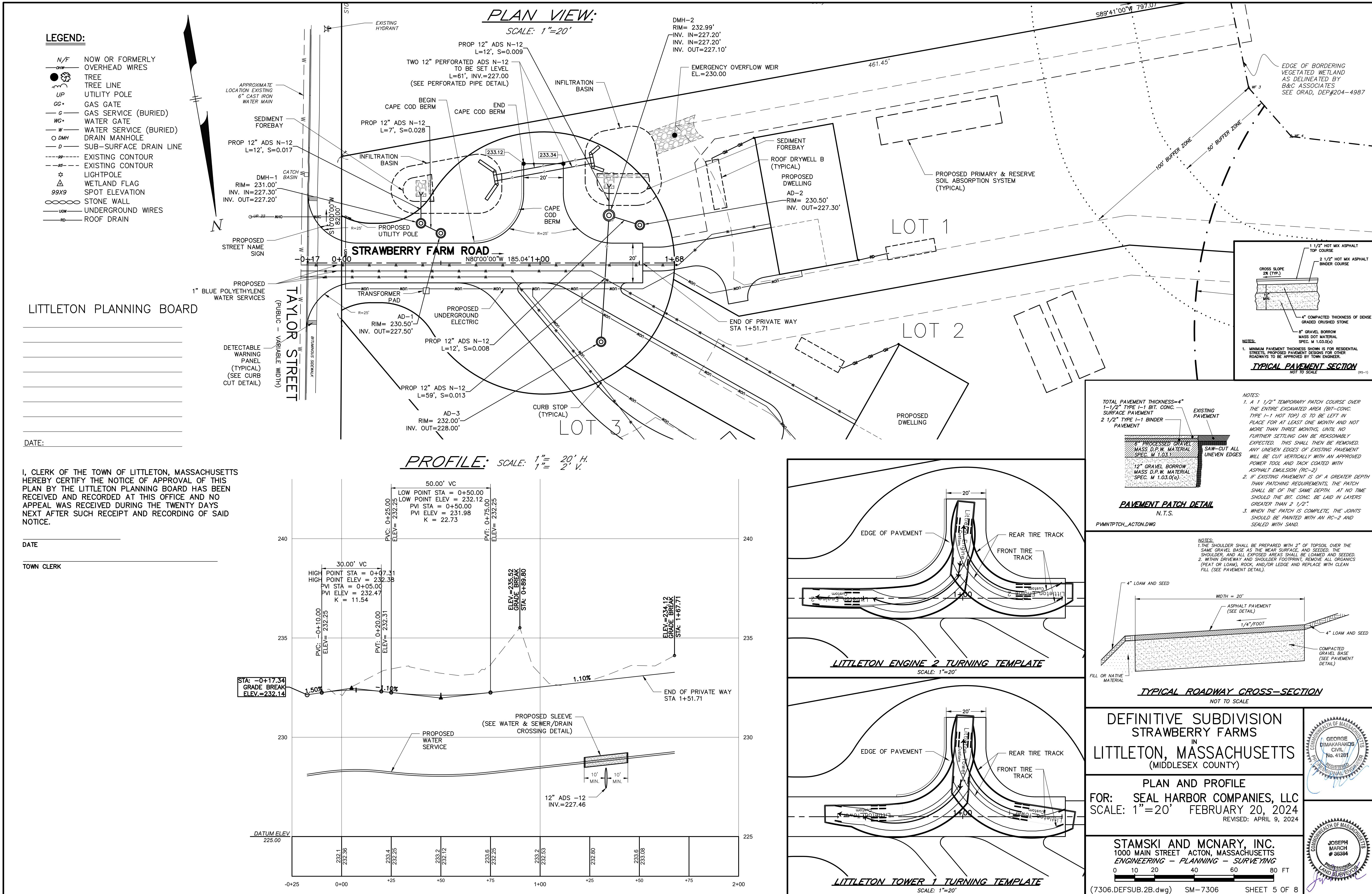
MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11584 PAGE 164
PLAN No. 1105 OF 1968

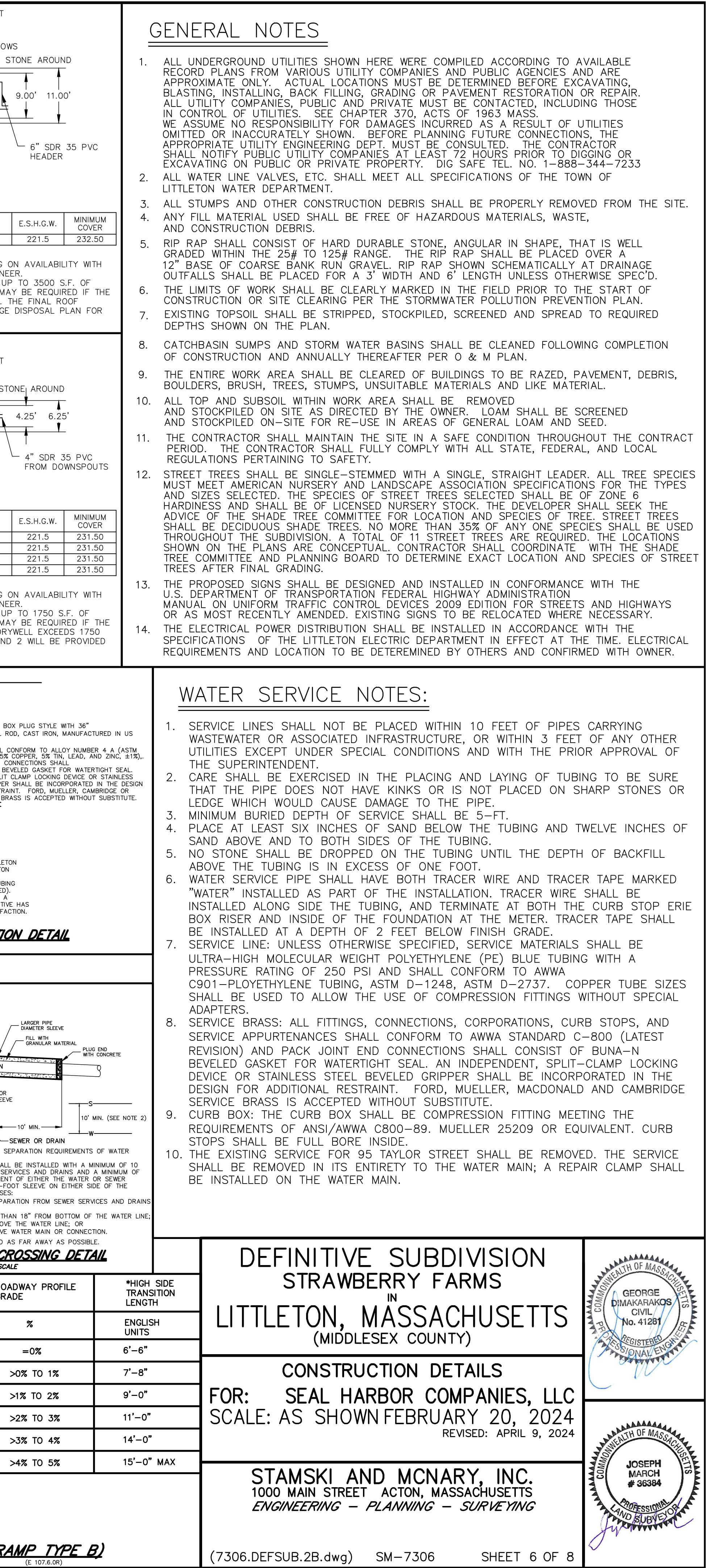
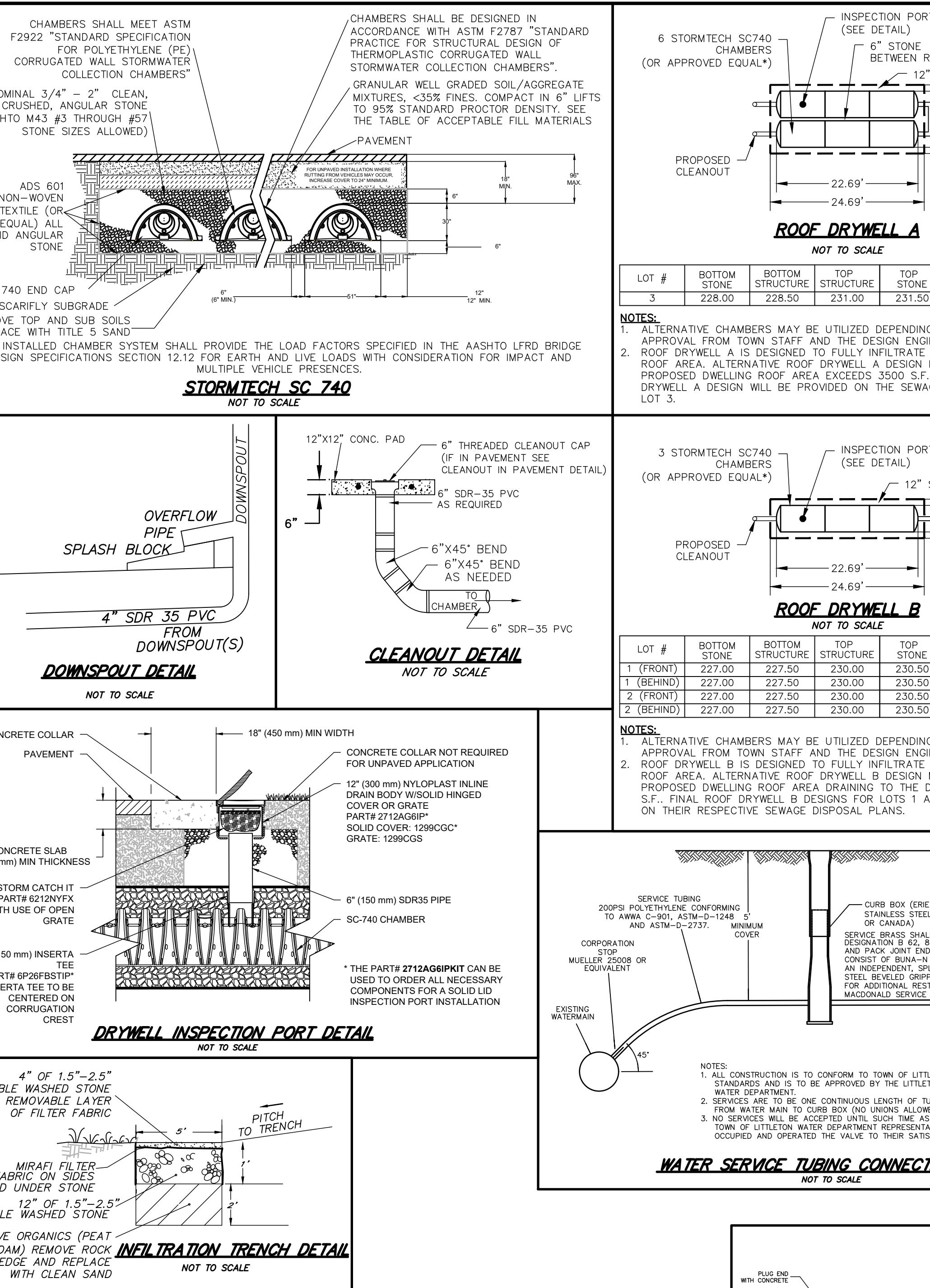
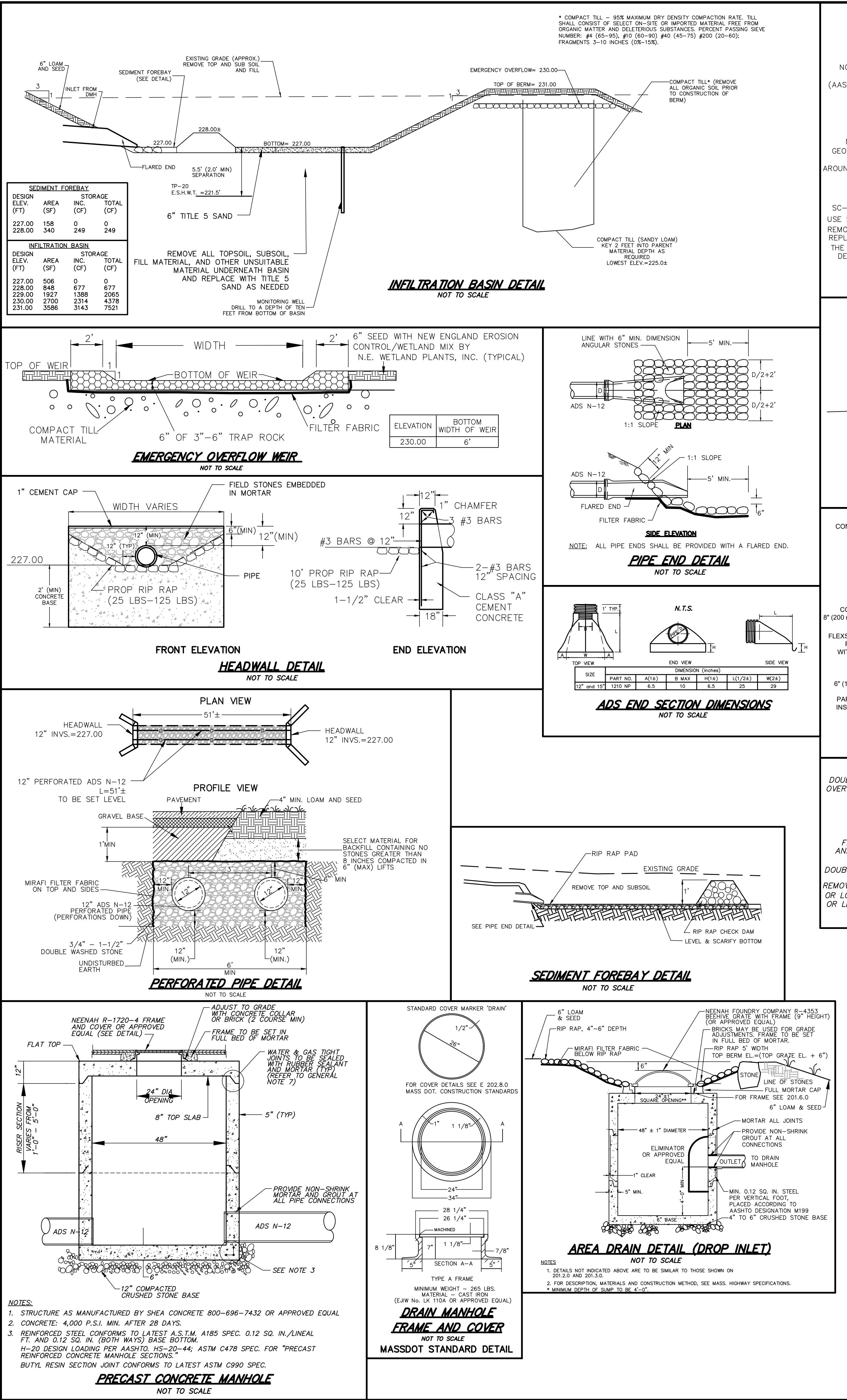
DATUM

N.A.V.D OF 1988.



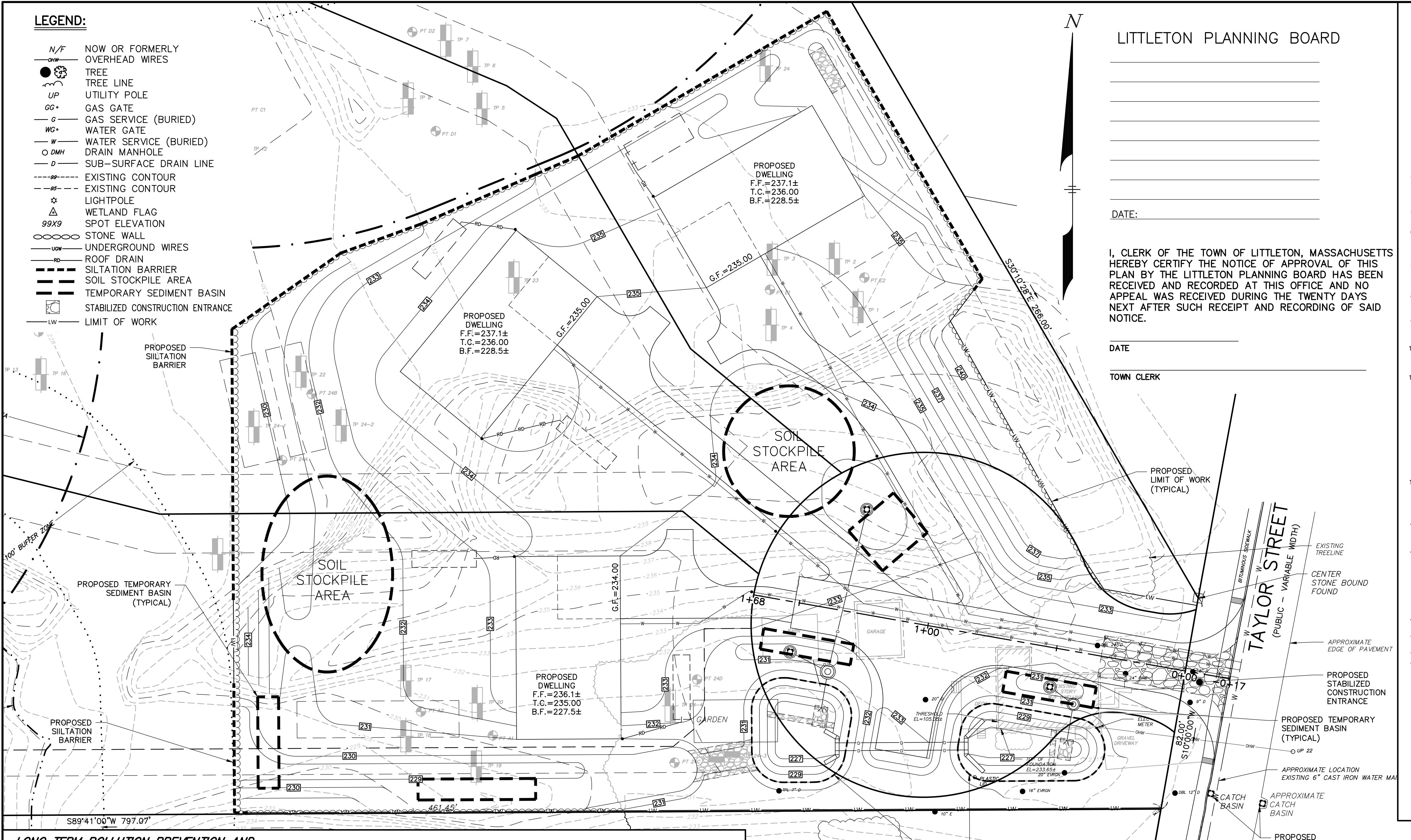






LEGEND:

N/F
 OWN
 TREE
 UP
 UTILITY POLE
 GG
 GAS GATE
 G
 GAS SERVICE (BURIED)
 WC
 WATER GATE
 W
 WATER SERVICE (BURIED)
 DMH
 DRAIN MANHOLE
 D
 SUB-SURFACE DRAIN LINE
 - - -
 EXISTING CONTOUR
 - - -
 EXISTING CONTOUR
 *
 LIGHTPOLE
 WETLAND FLAG
 SPOT ELEVATION
 99X9
 STONE WALL
 UGW
 UNDERGROUND WIRES
 RD
 ROOF DRAIN
 - - -
 SILTATION BARRIER
 - - -
 SOIL STOCKPILE AREA
 - - -
 TEMPORARY SEDIMENT BASIN
 STABILIZED CONSTRUCTION ENTRANCE
 LW
 LIMIT OF WORK


LONG TERM POLLUTION PREVENTION AND DRAINAGE SYSTEM OPERATION AND MAINTENANCE PLAN

1. THERE SHALL BE NO ILLICIT DISCHARGES TO ANY PART OF THE STORM DRAIN SYSTEM. THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS IS THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING CONSTRUCTION.

THE INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

PARTIES RESPONSIBLE FOR LONG TERM OPERATION/MAINTENANCE:

HOMEOWNERS ASSOCIATION

SCHEDULE FOR INSPECTION AND MAINTENANCE:

STREET SWEEPING:

IT IS RECOMMENDED THAT THE PAVEMENT SHALL BE PROPERLY SWEEPED FOUR TIMES A YEAR, WITH CONCENTRATIONS IN THE SPRING AND THE FALL.

SEDIMENT FOREBAYS:

THE FLOOR AND SIDEWALLS OF THE SEDIMENT FOREBAY MUST BE STABILIZED BEFORE USE. SEDIMENT FOREBAYS SHALL BE INSPECTED MONTHLY AND CLEANED A MINIMUM OF FOUR TIMES PER YEAR WHEN SEDIMENT DEPTH IS BETWEEN 3-6 INCHES. AFTER SEDIMENT REMOVAL, ANY DAMAGED VEGETATION MUST BE REPLANTED. GRASS IN THE FOREBAY SHALL NOT EXCEED 6 INCHES IN LENGTH AND ANY SOURING AND GULLYING SHALL BE REPAIRED AS NECESSARY.

INFILTRATION BASINS:

PREDVENTATIVE MAINTENANCE SHOULD BE PERFORMED AT LEAST TWICE A YEAR, AND IDEALLY SEDIMENT SHOULD BE REMOVED FROM THE SEDIMENT FOREBAY AFTER EVERY MAJOR STORM EVENT. SEDIMENT SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

ONCE DRIED, THE BASINS SHALL BE INSPECTED AFTER EVERY MAJOR STORM EVEN (1" IN 24 HOURS). FOR THE FIRST TWO YEARS AFTER CONSTRUCTION, THE BASIN SHOULD BE INSPECTED AT LEAST TWICE PER YEAR. IMPORTANT ITEMS TO CHECK FOR INCLUDE: DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENTS, CONDITION OF RIPRAP, SEDIMENT ACCUMULATION AND THE HEALTH OF THE TURF.

AT LEAST TWICE A YEAR, THE BUFFER AREA AND SIDE SLOPES OF THE BASIN SHOULD BE MOVED. GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER SHOULD BE REMOVED TO PREVENT THE FORMATION OF AN IMPERVIOUS ORGANIC MAT. TRASH AND DEBRIS SHOULD ALSO BE REMOVED AT THIS TIME. RIPRAP, EMBANKMENTS, AND ADDITIONAL SEDIMENT TRAPS SHOULD BE INSPECTED AND MAINTAINED. SEDIMENT SHOULD BE REMOVED FROM THE BASIN AS NECESSARY. REMOVAL PROCEDURES SHOULD NOT TAKE PLACE UNTIL THE FLOOR OF THE BASIN IS THOROUGHLY DRY. PRETREATMENT DEVICES ASSOCIATED WITH BASINS SHOULD BE INSPECTED AND CLEANED AT LEAST TWICE A YEAR AND IDEALLY EVERY OTHER MONTH.

DEEP SUMP HOODED AREA DRAINS

DURING CONSTRUCTION, CATCH BASIN GRATES SHALL BE PROVIDED WITH SILT SACKS. CATCH BASINS SHALL BE CLEANED UPON THE COMPLETION OF CONSTRUCTION. AFTER CONSTRUCTION, THE DEEP SUMPS FOR ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE INSPECTED FOUR TIMES A YEAR AND CLEANED FOUR TIMES A YEAR. SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

THE DEPTH OF THE SEDIMENT IN THE BASIN SHALL NOT EXCEED A DEPTH OF 18 INCHES AS DETERMINED BY PROBING WITH A STICK. IF THE STICK REACHES THE BOTTOM WITHIN 30 INCHES OF THE WATER LEVEL, MORE THAN 18 INCHES OF SEDIMENT HAS ACCUMULATED AND MUST BE REMOVED. LICENSED PERSONS SHOULD REMOVE AND DISPOSE OF THE CONTENTS OF THE SUMP IN ACCORDANCE WITH APPLICABLE REGULATIONS.

DRYWELLS:

INSPECT THE DRYWELL AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE PROPER STABILIZATION AND FUNCTION. THEREAFTER, INSPECT AND CLEAN IT AT LEAST ONCE PER YEAR. WATER LEVELS SHOULD BE RECORDED OVER SEVERAL DAYS TO CHECK THE DRYWELL DRAINAGE.

EMERGENCY CONTACTS:

IN THE EVENT OF A HAZARDOUS MATERIALS SPILL ON THE SITE THE FOLLOWING PARTIES SHALL BE CONTACTED:

THE DEVELOPER SHALL MAINTAIN AN INSPECTION LOG OF ALL ELEMENTS OF THE STORMWATER MANAGEMENT PLAN DURING CONSTRUCTION AND UNTIL THE ROAD IS ACCEPTED BY THE TOWN. A COPY OF THE EROSION CONTROL AND STORM WATER MAINTENANCE PLAN AND INSPECTION LOGS SHALL BE KEPT ON SITE AT ALL TIMES UNTIL ACCEPTANCE OF THE ROAD. EACH INDIVIDUAL LOT OWNER SHALL ALSO MAINTAIN RECORDS FOR PRIVATE STRUCTURES ON THEIR LOT.

FIRE DEPARTMENT: PH: 978-952-2302

LITTLETON PLANNING BOARD

DATE:

I, CLERK OF THE TOWN OF LITTLETON, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE LITTLETON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE

TOWN CLERK

EROSION AND SEDIMENTATION CONTROL NOTES

1. THE SITE IS SUBJECT TO THE PERMIT REQUIREMENTS OF THE EPA NPDES PROGRAM. THE DEVELOPER SHALL SUBMIT COMPLIANCE REPORTS AND REPORTING REQUIREMENTS TO THE TOWN AS A CONDITION OF THE SPECIAL PERMIT ISSUED BY THE BOARD OF APPEALS. DEVELOPER SHALL COMPLY WITH ANY ADDITIONAL EROSION CONTROL MEASURES IDENTIFIED BY THE NPDES PROGRAM NOT INDICATED ON THIS PLAN, IF THEY SO EXIST.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED FOR EACH PHASE PRIOR TO ANY CONSTRUCTION OCCURRING ON SITE.
3. DURING DEVELOPMENT AND CONSTRUCTION, ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS. THE BOARD OF APPEALS RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES IF PROBLEMS ARE NOTED BY A REPRESENTATIVE OF THE TOWN OR APPOINTED CONSULTANT.
4. LAND SHALL BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH THE SEQUENCE OF TRADING, DEVELOPMENT, AND CONSTRUCTION OPERATIONS. CONTROL MEASURES SUCH AS HYDROSEEDING, BERMS, INTERCEPTOR DITCHES, TERRACES, AND SEDIMENT TRAPS SHALL BE PUT INTO EFFECT PRIOR TO THE COMMENCEMENT OF EACH INCREMENT OF THE DEVELOPMENT/CONSTRUCTION PROCESS.
5. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION CONTROL DEVICES, IF INTENSE RAINFALL IS PREDICTED. THE CONTRACTOR'S REPRESENTATIVE SHALL INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. AREAS WITH SITES THAT HAVE BEEN FINALLY STABILIZED MUST BE INSPECTED AT LEAST ONCE A MONTH.
6. ALL SOIL STOCK PILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCK PILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TARPANUL SHEETS.
7. DURING DRIVEWAY CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A ONE FOOT HIGH BY TWO FOOT WIDE EARTHEN BERM ALONG THE EDGES OF THE DRIVEWAY TO DIVERT RUNOFF TO A SEDIMENT BASIN. STRAWBales MAY BE UTILIZED TO DIVERT RUNOFF FROM THE DRIVEWAY LOW POINTS TO THE SEDIMENT BASIN DURING CONSTRUCTION UNTIL THE DRAINAGE SYSTEM IS INSTALLED (SEE EARTHEN BERM DETAIL).
8. ALL CATCH BASIN AND MANHOLE RIMS SHALL BE PROVIDED WITH SILT SACKS DURING CONSTRUCTION. CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE AND INSTALL SILT SACK UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COURSE.
9. SEDIMENT BASINS (DEBRIS, BASINS, DE-SILTING BASINS, OR SILT TRAPS) SHALL BE INSTALLED IN CONJUNCTION WITH THE INITIAL GRADING OPERATIONS AND MAINTAINED THROUGH THE DEVELOPMENT PROCESS TO REMOVE SEDIMENT FROM RUNOFF WATERS DRAINING FROM LAND UNDERGOING DEVELOPMENT.
10. THE DEVELOPER IS REQUIRED TO CLEAN UP ANY SAND, DIRT, OR DEBRIS WHICH ERODES FROM THE SITE INTO ANY PUBLIC STREET OR PRIVATE PROPERTY, AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES AND DITCHES.
11. VELOCITY CHECK DAMS (STRAWBALES) SHALL BE USED UPON THE PROPOSED CONSTRUCTION SITE TO SLOW THE RUNOFF DURING THE CONSTRUCTION PHASE. THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED BELOW:

INTERVALS BETWEEN CHECK DAMS

LESS THAN 4% 100 FEET

4% TO 10% 50 FEET

OVER 10% 25 FEET

THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UN-VEGETATED OR UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF THE STREET INTERVALS BETWEEN CHECK DAMS

LESS THAN 3% 100 FEET

3% TO 6% 50 FEET

OVER 6% 25 FEET

12. ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 6" LOAM AND SEDED DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH A STRAW MULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1). IN AREAS SUBJECT TO THE WETLANDS PROTECTION ACT, THE STRAW MULCH AND/OR REQUIRED MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS RE-ESTABLISHED.

13. DISTURBED AREAS WHERE CONSTRUCTION HAS PERMANENTLY OR TEMPORARILY CEASED MUST BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE. AREAS WHICH WILL BE RESTABILIZED WITHIN 21 DAYS DO NOT HAVE TO BE STABILIZED.

14. *CHECK DAMS IN UNPAVED STREETS AND UN-VEGETATED OR UNPAVED GRADED CHANNELS BE CONSTRUCTED OF STAKED STRAW BALES OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE BOARD. THE CHECK DAMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY, AND IN THE EVENT OF RAINFALL IS PREDICTED, THE STRAW BALES SHOULD BE SECURELY STAKED TO THE GROUND. PLACEMENT OF THE CHECK DAMS SHALL BE COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. ALSO, A VELOCITY CHECK DAM SHALL BE PROVIDED ALONG THE ENTRANCE OF THE LOT TO PROTECT THE PUBLIC STREETS AND ADJACENT PROPERTIES FROM THE HAZARDS OF EROSION. ALL CHECK DAMS SHALL BE CLEARED OUT OF ALL DEBRIS AND SILT PERIODICALLY.

15. ADDITIONAL EROSION CONTROL MEASURES SHALL BE STOCK-PILED ON-SITE, INCLUDING BUT NOT LIMITED TO CRUSHED STONE, STRAW BALES, SILT FENCE AND EROSION CONTROL MATS.

16. THE SEDIMENT SHALL BE REMOVED BEHIND ALL STRAW BALES AND SILT FENCES IF DEPTH EXCEEDS 6". SEDIMENT SHALL BE REMOVED TO OUTSIDE THE BUFFER ZONE OF THE WETLANDS WHERE APPLICABLE.

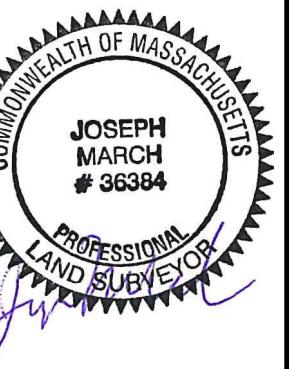
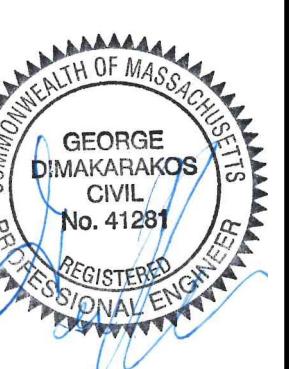
17. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL TRIBUTARY SURFACES ARE STABILIZED.

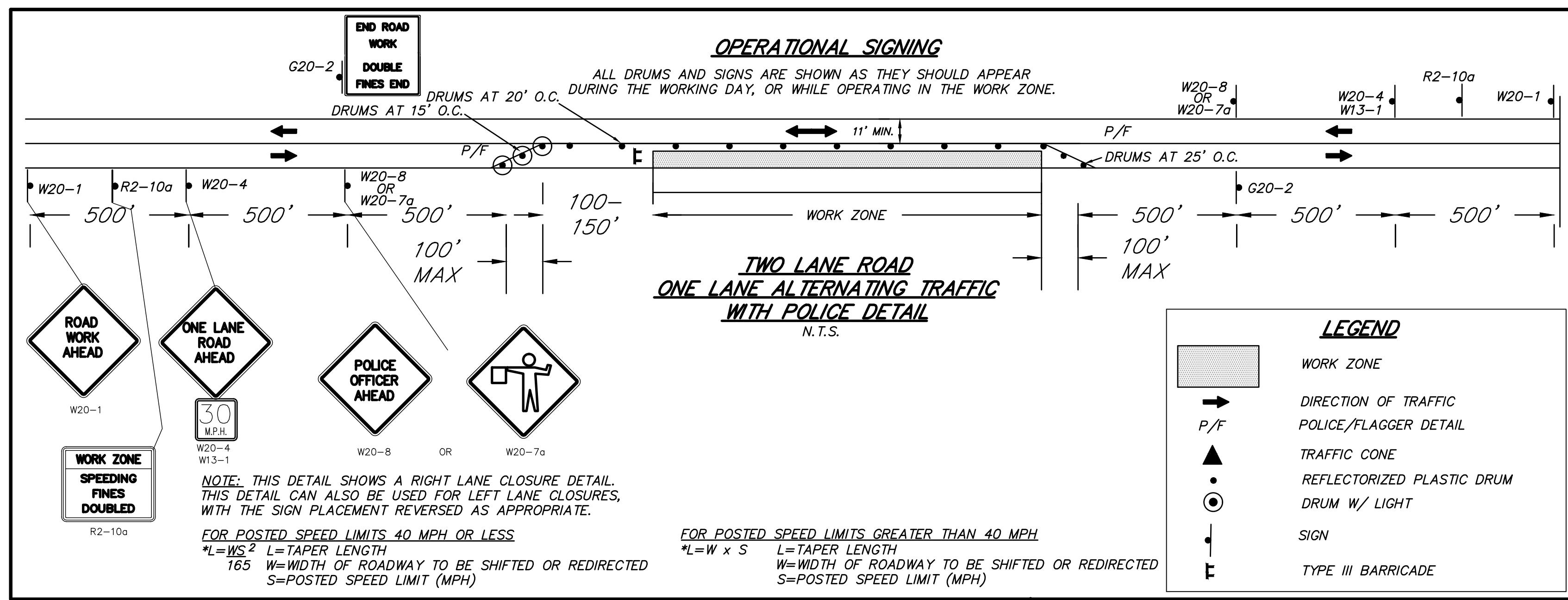
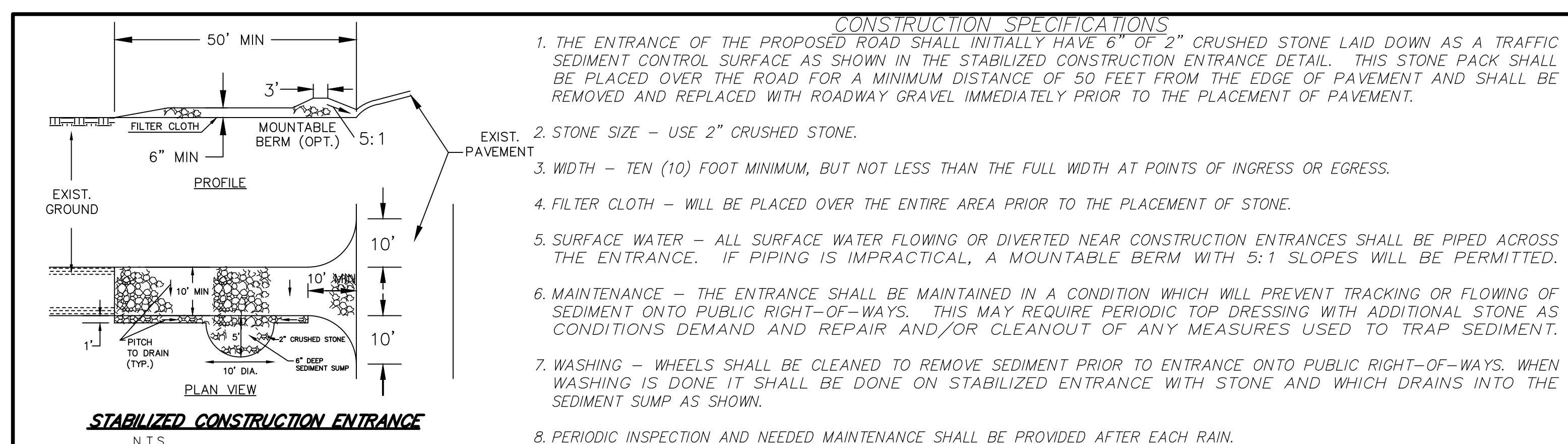
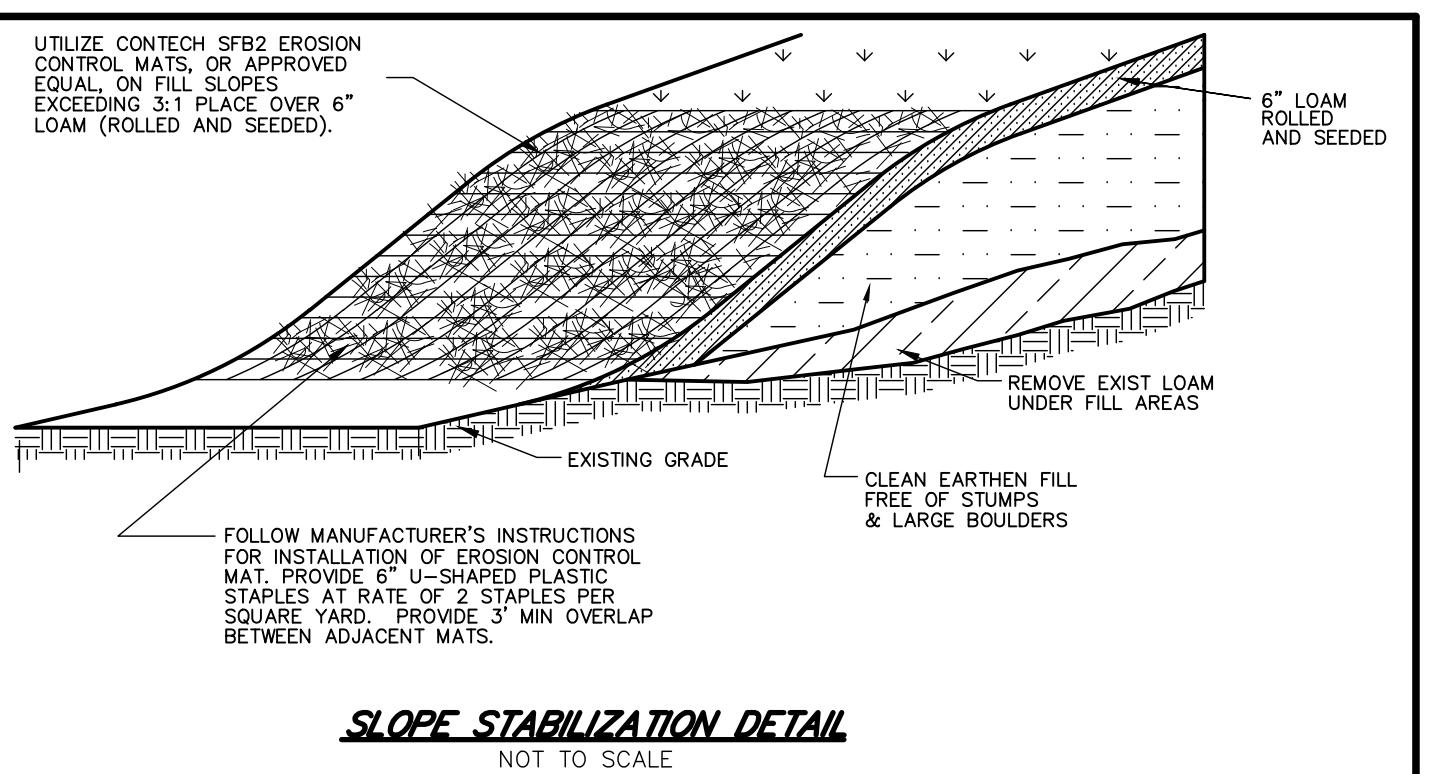
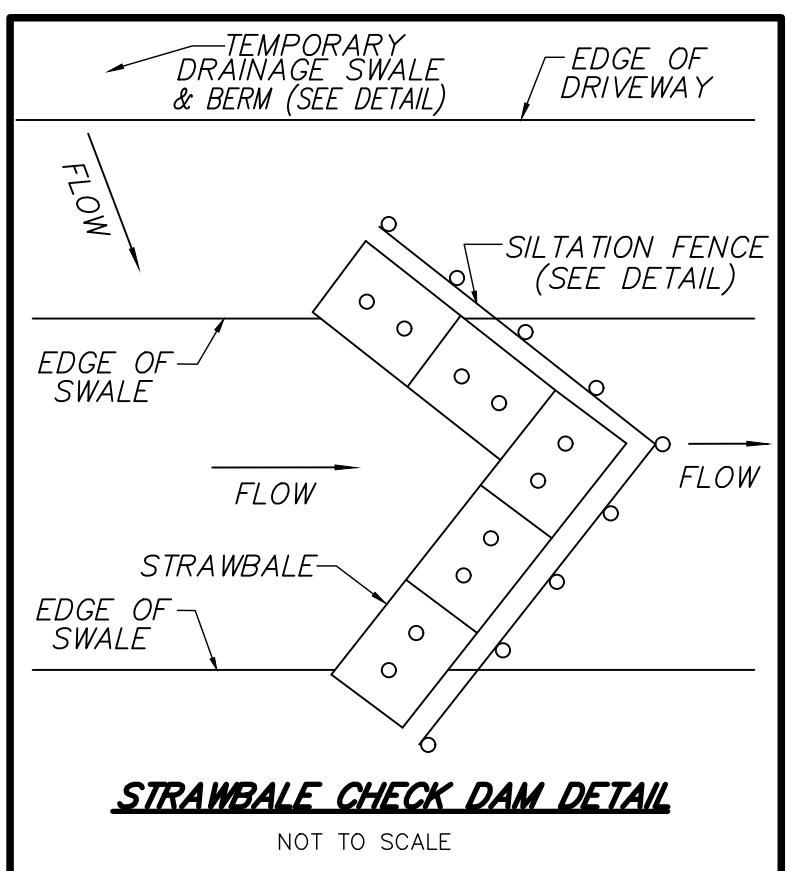
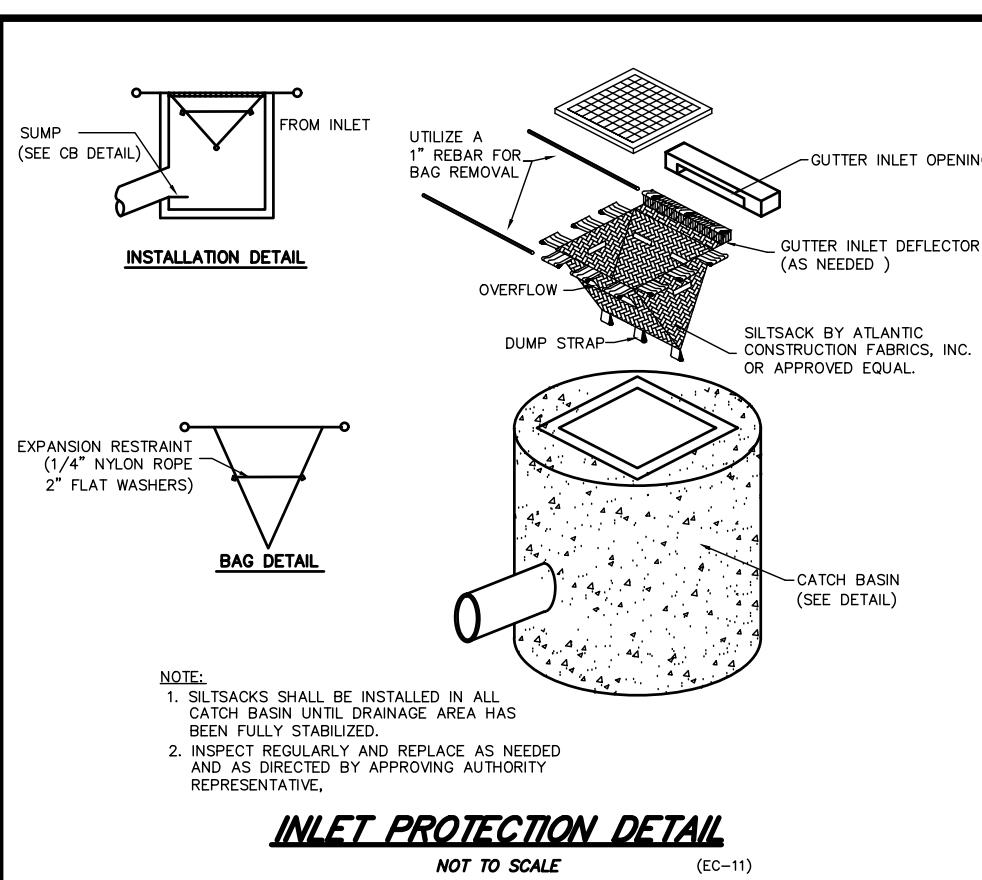
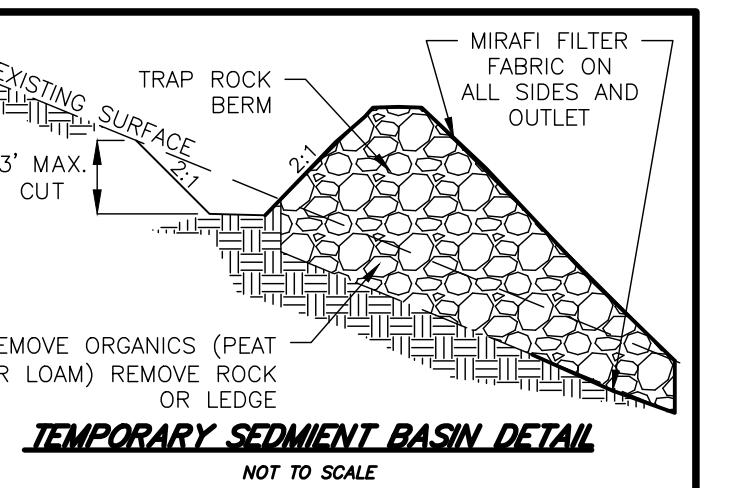
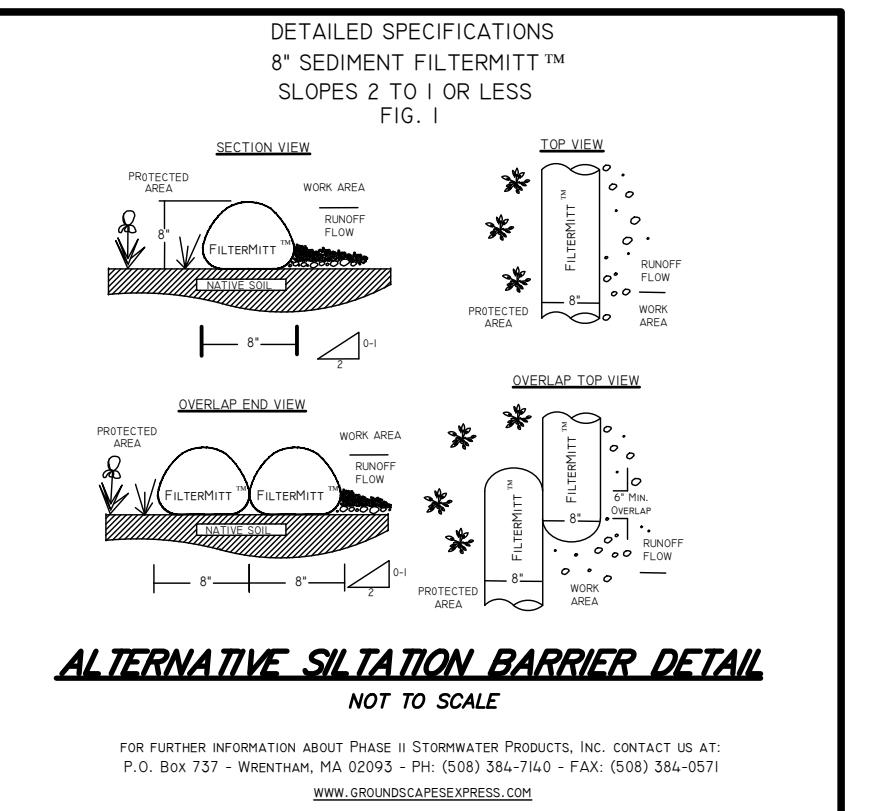
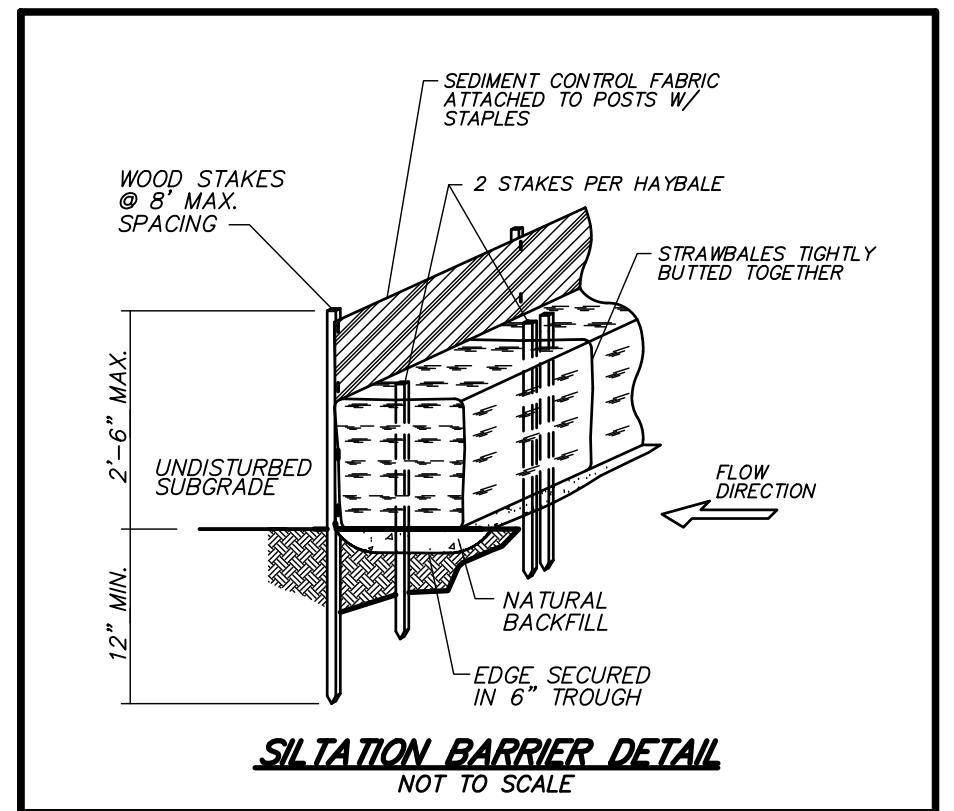
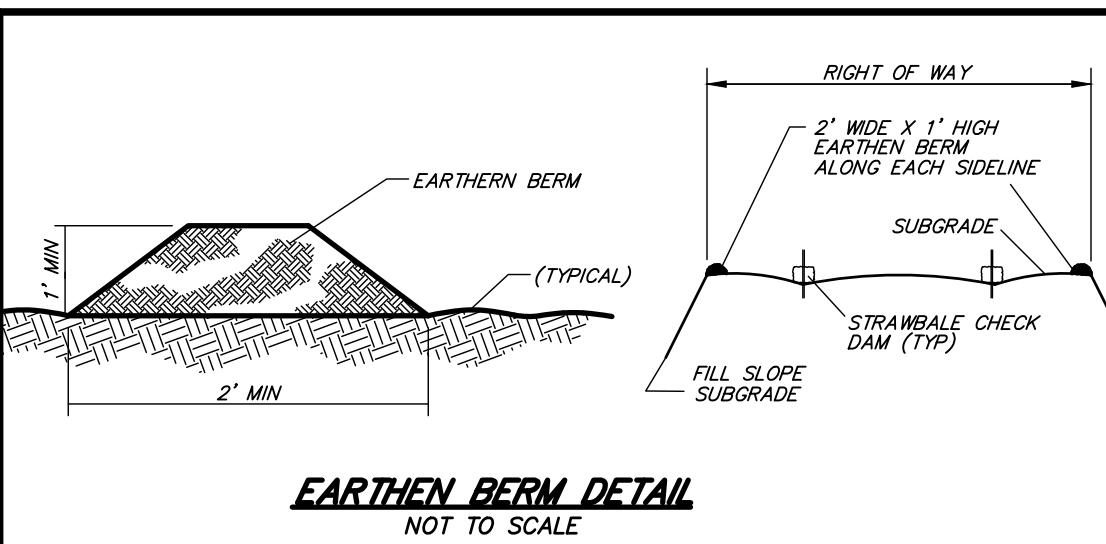
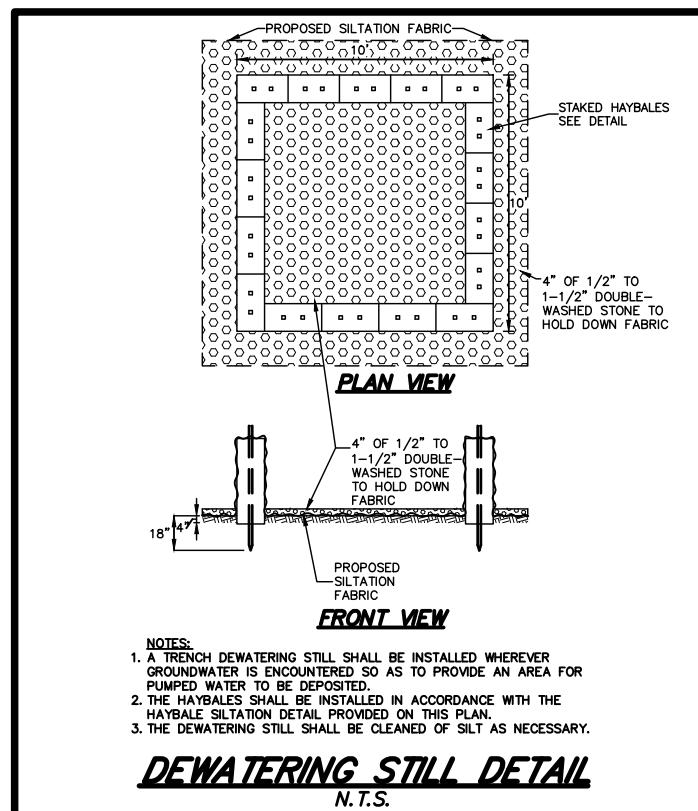
18. DURING CONSTRUCTION, THE CONTRACTOR SHALL SPRAY DOWN THE SITE WITH A WATER TRUCK AS NEEDED FOR DUST CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. TEMPORARY VEGETATION AND/OR USE OF TARPANUL MAY BE NECESSARY.

DEFINITIVE SUBDIVISION STRAWBERRY FARMS IN LITTLETON, MASSACHUSETTS (MIDDLESEX COUNTY)

EROSION AND SEDIMENTATION CONTROL PLAN
FOR: SEAL HARBOR COMPANIES, LLC
SCALE: 1"=20' FEBRUARY 20, 2024
REVISED: APRIL 9, 2024

STAMSKI AND MCNARY, INC.
1001 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING
0 10 20 40 60 80 FT
(7306.DEFSUB.2B.dwg) SM-7306 SHEET 7 OF 8





DEFINITIVE SUBDIVISION
STRAWBERRY FARMS
IN
LITTLETON, MASSACHUSETTS
(MIDDLESEX COUNTY)

**EROSION AND SEDIMENTATION CONTROL PLAN
FOR: SEAL HARBOR COMPANIES, LLC
SCALE: AS SHOWN FEBRUARY 20, 2024
REVISED: APRIL 9, 2024**

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

A circular seal with a scalloped outer edge. The words "COMMONWEALTH OF MASSACHUSETTS" are written along the top inner curve, and "PROFESSIONAL LAND SURVEYOR" are written along the bottom inner curve. In the center, the name "JOSEPH MARCH" is written above the number "# 36384".